



West Fargo City Commission Meeting
Monday, May 20, 2019
Commission Chambers 5:30 PM

- A. Pledge of Allegiance
- B. Approve Order of Agenda
- C. Approval of Minutes – May 6, 2019 (Pg 2-5)
- D. Approval of Amended Minutes – March 18, 2019 (Amendment on Page 2) (Pg 6-10)
- E. Building Permits

Consent Agenda – Approve the Following:

- a. Bills (Pg 11-18)
- b. Financial Statement for 3 months ending March 31, 2019 (Pg 19-21)
- c. Application for 5 year Property Tax Exemption for Improvements, 2832 Sheyenne Street (Pg 22)
- d. Appointment of Melissa Herberholz and Alanna Rerick to the Library Board (Pg 23-31)
- e. Schedule a 5:30pm Public Hearing for Buffalo Wings & Rings, 695 32 Ave E, on Monday, June 3, 2019 (Pg 32)
- f. Schedule a 5:30pm Public Hearing for The Art Bar, 18 First Street, on Monday, June 17, 2019 (Pg 33)
- g. Gaming Site Authorization for the North Dakota Association for the Disabled, Inc. Games to be conducted: Bingo, Electronic Quick Shot Bingo, Pull Tab Jar, Pull Tab Dispensing Device, Electronic Pull Tab Device, Sports Pools, Twenty-One, and Poker from 7/1/19 to 6/30/20 at Blvd Pub, Inc, 3147 Bluestem Drive (Pg 34-35)
- h. Gaming Site Authorization for Prairie Public Broadcasting, Inc. Games to be conducted: Raffles, Pull Tab Dispensing Device, and Electronic Pull Tab Device from 7/1/19 to 6/30/20 at Three Lyon's LLC, 975 13 Ave E (Pg 36-38)
- i. Gaming Site Authorization for Prairie Public Broadcasting, Inc. Games to be conducted: Raffles, Pull Tab Dispensing Device, and Electronic Pull Tab Device from 7/1/19 to 6/30/20 at Wurst Bier Hall, 3179 Bluestem Drive (Pg 39-41)

Regular Agenda

- 1. Continued from 5/6/19 - Proposed Resolution Setting the Fee Schedule for Liquor and Cabaret Licenses – John Shockley (Pg 42-44)
- 2. Resolution for Lease Approval for Pierce Fire – Dan Fuller (Pg 45-47)
- 3. Budget Amendment Request for the IT Department – James Anderson Pg 48-51)
- 4. Special Assessment Community Forum Recommendations – Melissa Richard (Pg 52)
- 5. Conditional Use Permit Review for 16674 37th Street SE – Tim Solberg (Pg 53-64)
- 6. Continued from 2/18/19 - Conditional Use Permit Review for the West Fargo Municipal Airport - Tim Solberg (Pg 65-71)
- 7. Review Request from Park District – Tim Solberg, Barb Erbstoesser (Pg 72-88)
- 8. Final Plat Approval of Eagle Run Plaza 7th Addition, a Retracement Plat – Tim Solberg (Pg 89-94)
- 9. Planned Unit Development Amendment for 320 32nd Avenue West – Tim Solberg (Pg 95-112)
- 10. Access Request for Forum Communications First Addition – Tim Solberg (Pg 113-150)
- 11. Review Engineer's Report for Street Improvement District No. 2254 – Dustin Scott (Pg 151-163)
- 12. Review Bid Results and Engineer's Statement of Cost for Sewer, Water, Storm and Street Improvement District No. 1321 – Dustin Scott (Pg 164-174)
- 13. Review Bid Results and Engineer's Statement of Cost for Sewer, Water, Storm and Street Improvement District No. 1322 – Dustin Scott (Pg 175-190)
- 14. Review Bid Results and Engineer's Statement of Cost for Sewer, Water, Storm and Street Improvement District No. 1323 – Dustin Scott (Pg 191-203)
- 15. Review Bid Results and Engineer's Statement of Cost for Sewer, Water, Storm and Street Improvement District No. 4063 – Dustin Scott (Pg 204-226)
- 16. Review Amendment No. 1 to the Owner-Engineer Agreement with KLI for Sheyenne Street Reconstruction Project – Dustin Scott (Pg 227-269)
- 17. City Administrator's Report – Tina Fisk
- 18. Construction Updates – Dustin Scott
- 19. Correspondence
- 20. Non-Agenda
- 21. Adjourn



City Commission Meeting
Monday, May 6, 2019
Commission Chambers 5:30 PM

The West Fargo City Commission met for a special meeting on Monday, May 6, 2019 at 5:30 pm. Those present were Bernie Dardis, Eric Gjerdevig, Mark Simmons, Mike Thorstad, and Brad Olson. Commission President Bernie Dardis called the meeting to order.

The Pledge of Allegiance was recited.

Commissioner Simmons moved and Commissioner Gjerdevig seconded to approve the Order of Agenda as presented. No opposition. Motion carried.

Commissioner Simmons moved and Commissioner Olson seconded to approve the Minutes from the April 15, 2019 Commission meeting. No opposition. Motion carried.

Commissioner Olson moved and Commissioner Gjerdevig seconded to approve the Minutes from the April 9, 2019 Board of Equalization Meeting. No opposition. Motion carried.

Commissioner Gjerdevig moved and Commissioner Simmons seconded to approve the Minutes of the April 29, 2019 Special City Commission Meeting. No opposition. Motion carried.

Commissioner Simmons moved and Commissioner Olson seconded to approve the following items on the Consent Agenda:

- a. Bills
- b. Games of Chance for Sandhill Archers, Inc. Games to be conducted: Raffle on 4/26/19 at Sandhills Archery Park, 3001 West Charyl Avenue
- c. Resolution Approving Contract and Contractor's Bond for Street Improvement District No. 2250, Kensington Drive
- d. Gaming Site Authorization for West Fargo Fire Department Incorporated. Games to be conducted: Bingo, Pull Tab Jar, Pull Tab Dispensing Device, Electronic Pull Tab Device, Twenty-One on 7/1/19 to 6/30/20 at Bordertown, 807 Main Avenue East
- e. Gaming Site Authorization for West Fargo Fire Department Incorporated. Games to be conducted: Bingo, Pull Tab Dispensing Device, Electronic Pull Tab Device, on 7/1/19 to 6/30/20 at Speedway, 680 Main Avenue West
- f. Gaming Site Authorization for West Fargo Fire Department Incorporated. Games to be conducted: Pull Tab Jar, Pull Tab Dispensing Device, Electronic Pull Tab



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- Device, Twenty-One, Paddlewheels with Tickets on 7/1/19 to 6/30/20 at Silver Dollar, 221 Sheyenne Street
- g. Gaming Site Authorization for West Fargo Fire Department Incorporated. Games to be conducted: Pull Tab Dispensing Device on 7/1/19 to 6/30/20 at Boston's Pizza, 1640 13th Avenue East
 - h. Appoint Callie Roth, Economic Development Specialist to the CVB Board
 - i. Corrected Second Reading of The Wilds 11th Addition, Ordinance No. 1128
 - j. Final Plat Approval of Eaglewood 7th Addition
 - k. Gaming Site Authorization for the Boys and Girls Club of the Red River Valley. Games to be conducted: Raffles, Pull Tab Jar, Electronic Pull Tab Device, Paddlewheels with Tickets on 7/1/19 to 6/30/20 at the Work Zone Bar, 701 Main Avenue East

No opposition. Motion carried.

City Attorney John Shockley appeared before the Commission to discuss the Proposed Resolution Setting the Fee Schedule for Liquor and Cabaret Licenses. After discussion, Commissioner Simmons moved and Commissioner Thorstad seconded to table the discussion for two weeks, to be reopened at the Monday, May 20, 2019 meeting. No opposition. Motion carried.

West Fargo Police Chief Heith Janke appeared before the Commission to present the West Fargo Police Department 2018 Year End Report. No action was requested of the Commission.

Director of Planning & Zoning Tim Solberg appeared before the Commission for the Second Reading and Final Plat Approval of Maple Ridge at the Preserve 6th Addition. After discussion, Commissioner Thorstad moved and Commissioner Olson seconded to approve the Second Reading and Final Plat for Maple Ridge at the Preserve 6th Addition. No opposition. Motion carried.

City Engineer Dustin Scott appeared before the Commission to Review the Petition for Improvements for Eagle Run Plaza 6th Addition, Review map and legal description for proposed Street Improvement District No. 2254. After discussion, Commissioner Olson moved and Commissioner Gjerdevig seconded to approve the Petition for Improvements for Eagle Run Plaza 6th Addition. No opposition. Motion carried.



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City Engineer Dustin Scott appeared before the Commission to Review the Task Orders for Engineering Services with Moore Engineering. After discussion, Commissioner Gjerdevig moved and Commissioner Simmons seconded to approve the Task Orders with Moore Engineering. No opposition. Motion carried.

Public Works Director Chris Brungardt appeared before the Commission to Review the Contract Amendment for AE2S Engineering Services for the Core Area Infrastructure Study. After discussion, Commissioner Simmons moved and Commissioner Olson seconded to approve the Contract Amendment for \$61,000. No opposition. Motion carried.

City Administrator Tina Fisk appeared before the Commission to review the application for The Art Bar Liquor License. After discussion, Commissioner Simmons moved and Commissioner Gjerdevig seconded to approve the application for The Art Bar for a background check by the West Fargo Police Department, and to set a Public Hearing. No opposition. Motion carried.

City Administrator Tina Fisk appeared before the Commission for the Appointment of Two Commissioners to the Liquor Control Board. After discussion, Commissioner Thorstad moved and Commissioner Olson seconded to appoint Commissioners Gjerdevig and Simmons to the Liquor Control Board. No opposition. Motion carried.

City Administrator Tina Fisk appeared before the Commission and presented the following for the City Administrator's Report:

- **5/6 Eggs & Issues**
 - i. **ND Legislative Session Outcomes**
- **Leadership Training for all supervisors/managers**
 - i. **May/June**
- **Meeting w/ schools on construction**
 - i. **Positive meeting**
 - ii. **Ideas to make transition as smooth as possible**
- **Budget moving forward**
 - i. **Jim & Tina have met w/ Bernie and Mark**
 - ii. **No details yet**
 - iii. **Department heads working w/ employee requests and budget**
 - iv. **Will meet with all commissioners at later date**
- **Clean Up week this week!**
- **Construction Carnival 5/4**
 - i. **Fantastic job to staff**



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- ii. 300 attendees
- Staff SharePoint training
 - i. 5/14 and 5/15
 - ii. Project management/internal communication
- Thank you to everyone who interviewed for clean up week and construction
- Fire Dept. launched EMS bike program
- 5/20 meeting
 - i. Special assessment recommendations
 - ii. Finalized recommendations and request of approval
 - iii. Staff can move forward and set policies/procedures
- Bernie/Gate City Bank
 - i. Neighborhood Revitalization Program
 - ii. Purchased van for senior center
 - iii. Buying all new fire helmets for fire department
- CHRIS
 - i. DAKOTA UNDERGROUND
 - ii. REQUEST TO WORK UNTIL 10PM
 - iii. CONTRACT DOES NOT ALLOW
 - iv. VERBALLY APPROVED BY COMMISSION

City Engineer Dustin Scott appeared before the Commission to provide and update on the construction projects in West Fargo. No action was requested of the Commission.

Commissioner Dardis thanked city staff and Triumph Lutheran staff for a successful Construction Carnival event.

Commissioner Simmons moved and Commissioner Olson seconded to adjourn. No opposition. Meeting adjourned.

Bernie Dardis
Commission President

Tina Fisk
City Auditor



West Fargo City Commission Meeting
Monday March 18, 2019
Commission Chambers 5:30 PM

The West Fargo City Commission met on Monday March 18, 2019, at 5:30 pm. Those present were Mike Thorstad, Brad Olson, Bernie Dardis and Mark Simmons. Commissioner Eric Gjerdevig was not in attendance. The President of the Board Bernie Dardis called the meeting to order.

The Pledge of Allegiance was recited.

Commissioner Dardis announced a change to the Consent Agenda. The Lodging Tax Agreement with Super 8 Motel would be moved to the Regular Agenda for discussion. Commissioner Thorstad moved and Commissioner Olson seconded to approve the amended order of agenda. No opposition. Motion carried.

Commissioner Olson moved and Commissioner Simmons seconded to approve the minutes of March 4, 2019. No opposition. Motion carried.

The Commission reviewed the Building Department Activity Report dated March 18, 2019 and Building Permits #44-51. Commissioner Olson moved and Commissioner Thorstad seconded to approve the building permits.

Commissioner Simmons moved and Commissioner Olson seconded to approve the following items from the Consent Agenda, with the requested amendment: a. Bills

- b. Games of Chance for West Fargo High School Mustangs Booster, Games to be conducted: Raffle from 3/30/19 to 3/31/19 at the DoubleTree by Hilton, 825 East Beaton Drive
- c. Court Services Contract with the State of North Dakota
- d. Agreement for Provision of Environmental Health Services with Fargo Cass Public Health
- e. Schedule a Public Hearing for the rezoning from A: Agricultural to C-OP: Commercial Office Park at 310 24th Avenue E at 5:30 pm on April 1, 2019
- f. Schedule a First Reading and Public Hearing on the Zoning Ordinance Amendment to Section 4-427-A C-OP: Commercial Office Park District at 5:30 pm on April 1, 2019
No opposition. Motion carried.

Cindy Gray, Representative of Metropolitan Council of Governments (METROCOG), appeared before the Commission to provide an overview of the Articles of Association. Some of the highlights addressed included the following: City of Horace is now a voting

member; there are seven jurisdictions involved. After further review, Commissioner Thorstad moved and Commissioner Simmons seconded to approve the Metropolitan Council of Governments Articles of Association. No opposition. Motion carried.

City Attorney John Shockley appeared before the Commission for the First Reading of Ordinance No. 1119, Alcoholic Beverages. After discussion, Commissioner Olson moved and Commissioner Simmons seconded to approve the 1st Reading of Ordinance No. 1119. No opposition. Motion carried.

City Attorney John Shockley appeared before the Commission for the Second Reading of Ordinance No. 1137. There have been no changes from the First Reading. After discussion, Commissioner Thorstad moved and Commissioner Olson seconded to approve the Second Reading. No opposition. Motion carried.

Economic Development Director Matt Marshall appeared before the Commission to Review the Enterprise Incentive. After discussion, Commissioner Simmons moved and Commissioner Olson seconded to approve the draft. No opposition. Motion carried.

Economic Development Director Matt Marshall appeared before the Commission to review the Expo Center Feasibility Study Contract. After discussion, Commissioner Simmons moved and Commissioner Olson seconded to approve awarding the contract to Stone Planning in the amount of \$21,856.66, with the total cost to be \$65,570 to be split evenly by the City of West Fargo, the CVB and the Red River Valley Fair. The Commission unanimously voted in favor; there was no opposition. Motion carried.

City Engineer Dustin Scott and City Attorney John Shockley appeared before the Commission to review the updated Master Services Agreement with Moore Engineering. After discussion, Commissioner Simmons moved and Commissioner Olson seconded to approve the updated Master Services Agreement. No opposition. Motion carried.

Public Works Director Chris Brungardt appeared before the Commission to review the Wastewater Sewer Agreement with the City of Mapleton. After discussion, Commissioner Simmons moved and Commissioner Olson seconded to approve the Wastewater Sewer Agreement with the City of Mapleton. No opposition. Motion carried.

Public Works Director Chris Brungardt and City Engineer Dustin Scott appeared before the Commission for a 2019 Spring Melt discussion. After discussion, Commissioner Thorstad moved and Commissioner Simmons seconded to affirm the spring melt update and to approve the Engineering and Public Works departments to publish an RFQ for Flood Assistance Engineering Services. No opposition. Motion carried.

City Engineer Dustin Scott appeared before the Commission to Review map and legal description for the creation of Storm Sewer Improvement District, and Review Engineer's Report for Storm Sewer Improvement District No. 4063. After discussion, Commissioner Simmons moved and Commissioner Olson seconded to approve the creation of Storm Sewer Improvement District No. 4063, Approve the Engineer's Report, and Authorize the City Engineer to prepare Plans & Specifications. No opposition. Motion carried.

Todd Berning, EPIC Management, and Lance Johnson, West Fargo Events appeared before the Commission to provide updates on West Fargo Events, Sheyenne 32 and Downtown Plaza Design. After discussion, no action was requested of the Commission.

Economic Development Director Matt Marshall appeared before the Commission for a Fueling our Future discussion. Joe Raso, President & CEO of the Greater Fargo Moorhead Economic Development Corporation appeared before the Commission to provide comment on the vision of Fueling our Future. Tom Dawson, Dawson Insurance and Mark Nisbet, Principal Manager of Xcel Energy appeared before the Commission to provide comment. After discussion, Commissioner Simmons moved and Commissioner Olson seconded to approve the \$100,000 over four years contingent upon a joint effort with the City of Fargo, pending a document being brought back for board approval. Commissioner Dardis called for a roll call vote. Commissioner Thorstad voted yes. Commissioner Olson voted yes. Commissioner Simmons voted yes. Commissioner Dardis voted yes. Commissioner Gjerdevig was absent and did not vote. No opposition. Motion carried.

Finance Director Jim Larson appeared before the Commission to discuss the Lodging Tax Agreement with the Super 8 Motel. After discussion, Commissioner Dardis tabled the discussion and approval until the Monday, April 1, 2019 meeting. No opposition. Motion carried.

City Administrator Tina Fisk appeared before the Commission and presented the following for the City Administrator's Report:

- Commission Liaison for spring melt/flood efforts
 - Commissioner Olson moved and Commissioner Simmons seconded to approve Commissioner Dardis as the liaison for the spring melt and flood efforts. No opposition. Motion carried.
- 32nd to 40th Ave on Sheyenne Street will be shut down in two weeks for construction
 - Communication is being distributed to residents
- First week in April for Commission and the public for the outcomes of the Special Assessment forums
 - Date and time TBD
- April 15th Commission meeting – construction contract review with City Attorney John Shockley
- Board of Equalization Meeting on April 2nd at 5:30pm

Correspondence

Lake Agassiz Regional Council – requesting an elected official to serve as a representative on the board

Oppidan Construction – agreement for berm/landscaping completed by end of May, requesting extension of additional 30 days if the weather requires it

There were no non-agenda items.

Commissioner Simmons moved and Commissioner Olson seconded to adjourn the meeting. No opposition. Meeting adjourned.

Bernie Dardis
President of the Board

Tina Fisk
City Auditor



COST PROPOSAL

The following table summarizes our proposed fees by task and estimated expenses. These expenses assume three trips to West Fargo (for kickoff meetings, and final meeting/presentation, and an interim meeting).

Task	Amount
Task 1 - Project Kickoff	\$3,500
Task 2 - Local Market and Hotel Analysis	\$5,000
Task 3 - Facility and Event Industry Analysis	\$20,000
Task 4 - Physical and Operational Conclusions/Recommendations	\$3,500
Task 5 - Forecasts of Future Usage and Operations	\$15,000
Task 6 - Economic and Fiscal Impacts	\$15,000
TOTAL FEES	\$62,000
ESTIMATED EXPENSES	\$3,570
TOTAL	\$65,570

to be paid
by CUB, REVF,
CWTF

WF - \$21,856

Amend to
Item B

Consent Agenda Item: a

05/07/19
11:28:27

CITY OF WEST FARGO, ND
Check Register
For the Accounting Period: 5/19

Page: 1 of 8
Report ID: AP300

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
82415	S	2499 FM CONVENTION & VISITORS BUREAU	17047.74	05/07/19			
						CL 84845	17047.74
82416	S	2499 FM CONVENTION & VISITORS BUREAU	8523.87	05/07/19			
						CL 84846	8523.87
82417	S	289 ACME TOOLS	1656.06	05/07/19			
						CL 84813	509.12
						CL 84857	524.37
						CL 84901	622.57
82418	S	2742 AMBASSADOR INC	7298.59	05/07/19			
						CL 84920	7298.59
82419	S	317 AMERICAN WELDING & GAS, INC.	701.04	05/07/19			
						CL 84805	366.25
						CL 84875	334.79
82420	S	3383 ANDREW WRUCKE	126.61	05/07/19			
						CL 84795	126.61
82421	S	2838 ANNIE BURTHOLD	324.00	05/07/19			
						CL 84827	282.00
						CL 84932	42.00
82422	S	22 ASPLIN EXCAVATING	688.60	05/07/19			
						CL 84770	688.60
82423	S	1384 AUTO SPA	65.00	05/07/19			
						CL 84861	65.00
82424	S	3032 AXON ENTERPRISE INC	300.00	05/07/19			
						CL 84939	300.00
82425	S	36 BERT'S TRUCK EQUIPMENT	2275.42	05/07/19			
						CL 84897	2275.42
82426	S	26 BORDER STATES ELECTRIC SUPPLY	3433.42	05/07/19			
						CL 84799	3369.28
						CL 84877	64.14
82427	S	2704 BRAD'S COFFEE SERVICE	174.00	05/07/19			
						CL 84894	174.00
82428	S	652 BRENCO CORPORATION	5900.00	05/07/19			
						CL 84878	5900.00
82429	S	2811 BROCK ACKERMAN	1180.92	05/07/19			
						CL 84830	815.33
						CL 84943	365.59
82430	S	16 BROKERAGE PRINTING	1479.93	05/07/19			
						CL 84785	36.75
						CL 84809	110.25
						CL 84842	641.30
						CL 84900	364.30
						CL 84915	327.33
82431	S	351 BUSINESS ESSENTIALS	1013.96	05/07/19			
						CL 84786	142.01
						CL 84807	358.04
						CL 84833	238.34
						CL 84891	173.45
						CL 84945	102.12

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
82432	S	3385 CAPITAL MEETING PLANNING, INC	520.00	05/07/19			
						CL 84843	520.00
82433	S	61 CASS COUNTY TREASURER	54.93	05/07/19			
						CL 84777	54.93
82434	S	46 CASS RURAL WATER USERS	55.35	05/07/19			
						CL 84889	27.00
						CL 84922	28.35
82435	S	1512 CDW GOVERNMENT, INC	2904.87	05/07/19			
						CL 84808	2719.13
						CL 84832	185.74
82436	S	2875 CENTRAL LANDSCAPE	2099.50	05/07/19			
						CL 84864	2099.50
82437	S	2429 CERTIFIED LABORATORIES	1296.00	05/07/19			
						CL 84793	1296.00
82438	S	999999 CHAD RICE	42.00	05/07/19			
						CL 84931	42.00
82439	S	3216 CINTAS	84.71	05/07/19			
						CL 84852	84.71
82440	S	111 CITY OF FARGO	173285.33	05/07/19			
						CL 84765	78353.55
						CL 84854	176.00
						CL 84886	94755.78
82441	S	1904 CODE 4 SERVICES, INC	528.99	05/07/19			
						CL 84837	93.50
						CL 84934	435.49
82442	S	3245 CORE & MAIN	3330.57	05/07/19			
						CL 84811	1295.04
						CL 84853	1142.95
						CL 84876	408.50
						CL 84906	484.08
82443	S	47 CORWIN CHRYSLER	27.95	05/07/19			
						CL 84810	27.95
82444	S	3258 COURTNEY WILLIAMS	17.96	05/07/19			
						CL 84887	17.96
82445	S	60 CROSSCOUNTRY FREIGHT SOLUTIONS	88.90	05/07/19			
						CL 84911	88.90
82446	S	1633 CROWN TROPHY	40.70	05/07/19			
						CL 84791	40.70
82447	S	1675 DAKOTA FLUID POWER, INC	87.99	05/07/19			
						CL 84796	87.99
82448	S	79 DAKOTA HOSE & EQUIP	457.33	05/07/19			
						CL 84902	457.33
82449	S	856 DAVE'S WEST FARGO TIRE	48.13	05/07/19			
						CL 84956	24.60
						CL 84958	23.53
82450	S	1243 DEREK CRUFF	20.02	05/07/19			
						CL 84818	20.02

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
82451	S	2225 DTN, LLC	373.25	05/07/19			
82452	S	2100 EAGLE RUN CROSSING LLC	405.94	05/07/19		CL 84753	373.25
82453	S	1991 ELITE K-9, INC	141.52	05/07/19		CL 84769	405.94
82454	S	3386 EMILY STEFONOWICZ	76.00	05/07/19		CL 84831	141.52
82455	S	877 ENVIRONMENTAL TOXICITY CONTROL INC.	850.00	05/07/19		CL 84872	76.00
82456	S	3344 FACTORY MOTOR PARTS	178.88	05/07/19		CL 84912	850.00
82457	S	660 FARGO FREIGHTLINER	18.07	05/07/19		CL 84881	178.88
82458	S	728 FARNAM'S GENUINE PARTS, INC	40.52	05/07/19		CL 84801	18.07
82459	S	329 FERGUSON WATERWORKS #2516	9731.30	05/07/19		CL 84851 CL 84883	12.56 27.96
82460	S	3347 FIRST INTERNATIONAL INSURANCE	50.00	05/07/19		CL 84790 CL 84856	5209.66 4521.64
82461	S	55 FLEETPRIDE	492.93	05/07/19		CL 84841	50.00
82462	S	1347 FM SERTOMA CLUB	70.00	05/07/19		CL 84812 CL 84907	482.88 10.05
82463	S	104 FORUM COMMUNICATIONS	1148.94	05/07/19		CL 84893	70.00
82464	S	139 FRS INDUSTRIES, INC.	92.65	05/07/19		CL 84763 CL 84896 CL 84966	299.80 346.97 502.17
82465	S	155 GALLS, LLC	219.96	05/07/19		CL 84834 CL 84940	60.45 32.20
82466	S	999999 GOLDMARK PROPERTY MANAGEMENT	485.00	05/07/19		CL 84822 CL 84933	118.96 101.00
82467	S	2558 GOODYEAR COMMERCIAL TIRE	94.45	05/07/19		CL 84773	485.00
82468	S	556 GRAINGER, INC.	147.24	05/07/19		CL 84804 CL 84903	34.45 60.00
82469	S	2877 GREATAMERICA FINANCIAL SERVICES	176.63	05/07/19		CL 84910	147.24
82470	S	2318 HABERDASHERY	426.43	05/07/19		CL 84775	176.63
						CL 84762	426.43

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
82471	S	135 HAWKINS WTR TREATMENT	6068.60	05/07/19			
82472	S	3390 HORSLEY SPECIALTIES INC	15000.00	05/07/19		CL 84787	6068.60
82473	S	1226 HP INC.	652.00	05/07/19		CL 84952	15000.00
82474	S	3087 IBM CORPORATION	175.00	05/07/19		CL 84754	326.00
82475	S	687 INFORMATION TECHNOLOGY DEPT	1328.10	05/07/19		CL 84836	326.00
82476	S	3379 INTERNATIONAL INSTITUTE OF MUNICIPAL CLE	210.00	05/07/19		CL 84767	175.00
82477	S	211 INTERSTATE BATTERIES	55.80	05/07/19		CL 84766	1328.10
82478	S	233 J & L SPORTS	14.00	05/07/19		CL 84772	210.00
82479	S	2245 JAMES ANDERSON	45.00	05/07/19		CL 84946	55.80
82480	S	2886 JENNA WILM	915.03	05/07/19		CL 84806	14.00
82481	S	3367 JIM LARSON	1245.21	05/07/19		CL 84806	14.00
82482	S	1024 JOE BIRRENKOTT	1273.99	05/07/19		CL 84774	45.00
82483	S	2735 KADRMAS, LEE & JACKSON, INC	1546.00	05/07/19		CL 84774	45.00
82484	S	2352 KLM ENGINEERING, INC	2000.00	05/07/19		CL 84919	915.03
82485	S	2325 KUSTOM KONCEPTS	477.31	05/07/19		CL 84924	1245.21
82486	S	260 LAR'S BODY SHOP	809.50	05/07/19		CL 84823	1273.99
82487	S	705 LAWSON PRODUCTS	259.52	05/07/19		CL 84761	1261.00
82488	S	3304 MAC'S - FARGO	307.21	05/07/19		CL 84781	285.00
82489	S	3384 MATHESON TRI-GAS INC	27.50	05/07/19		CL 84778	2000.00
82490	S	299 MENARDS	291.54	05/07/19		CL 84905	458.15
82491	S	2734 MICHAEL PIETRON	42.00	05/07/19		CL 84947	19.16
						CL 84866	809.50
						CL 84783	259.52
						CL 84794	54.31
						CL 84913	252.90
						CL 84815	27.50
						CL 84814	172.84
						CL 84865	118.70
						CL 84929	42.00

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
82492	S	2766 MIDCONTINENT COMMUNICATIONS	125.00	05/07/19			
						CL 84885	125.00
82493	S	908 MILES ORTH	10.50	05/07/19			
						CL 84826	10.50
82494	S	772 MINNKOTA	52.48	05/07/19			
						CL 84840	52.48
82495	S	305 MOORE ENGINEERING	76250.00	05/07/19			
						CL 84917	76250.00
82496	S	673 MOORHEAD ELECTRIC	1536.96	05/07/19			
						CL 84855	1536.96
82497	S	2969 MTI DISTRIBUTING INC	68.20	05/07/19			
						CL 84862	68.20
82498	S	628 MTW TOWING	94.00	05/07/19			
						CL 84819	94.00
82499	S	298 MVTL LABORATORIES	50.50	05/07/19			
						CL 84788	50.50
82500	S	333 ND MOTOR VEHICLE DEPT.	34.50	05/07/19			
						CL 84817	11.50
						CL 84871	11.50
						CL 84949	11.50
82501	S	1906 ND PUBLIC FINANCE AUTHORITY	20767.92	05/07/19			
						CL 84967	20767.92
82502	S	999999 NDASRO - GREG BORDERS	250.00	05/07/19			
						CL 84964	250.00
82503	S	911 NDPOA	1520.00	05/07/19			
						CL 84848	1520.00
82504	S	1600 NELSON AUTO CENTER FLEET DEPT	58519.35	05/07/19			
						CL 84870	29115.35
						CL 84948	29404.00
82505	S	364 NELSON INTERNATIONAL	1943.12	05/07/19			
						CL 84880	1908.00
						CL 84904	35.12
82506	S	2626 NICK LEE	645.00	05/07/19			
						CL 84869	645.00
82507	S	999999 NICK SCHULTZ	2000.00	05/07/19			
						CL 84935	2000.00
82508	S	2826 NORIDIAN MUTUAL INSURANCE CO	73.50	05/07/19			
						CL 84918	73.50
82509	S	2035 NORTH CENTRAL RENTAL & LEASING, INC	149872.00	05/07/19			
						CL 84849	149872.00
82510	S	141 NORTH STAR SAFETY, INC	97.65	05/07/19			
						CL 84858	97.65
82511	S	3256 NORTHERN LAKE SERVICE, INC	1593.00	05/07/19			
						CL 84792	1593.00
82512	S	330 NORTHWESTERN EQUIP INC.	83.15	05/07/19			
						CL 84803	83.15
82513	S	753 O'DAY EQUIPMENT	312.23	05/07/19			
						CL 84923	312.23

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
82514	S	399 OLYMPIC SALES	571.96	05/07/19		CL 84802	204.00
						CL 84879	367.96
82515	S	276 OSTROMS ACE HARDWARE	1169.03	05/07/19		CL 84914	1139.05
						CL 84944	29.98
82516	S	3387 PARAGON EVENTS, INC	799.00	05/07/19		CL 84868	799.00
82517	S	903 PETE NIELSEN	88.00	05/07/19		CL 84829	88.00
82518	S	563 PETRO SERVE USA	4606.08	05/07/19		CL 84768	4325.10
						CL 84969	280.98
82519	S	1987 PETSMAST	68.78	05/07/19		CL 84937	68.78
82520	S	3391 PPI CONSULTING	500.00	05/07/19		CL 84962	500.00
82521	S	1295 PRO-WEST & ASSOCIATES, INC	3800.00	05/07/19		CL 84884	3800.00
82522	S	1166 PRODUCTIVITY PLUS ACCOUNT	840.10	05/07/19		CL 84797	65.82
						CL 84898	774.28
82523	S	999999 PROJECT LIFESAVER INTERNATIONAL	400.00	05/07/19		CL 84961	400.00
82524	S	2992 PUKLICH	146359.00	05/07/19		CL 84789	109320.00
						CL 84816	37039.00
82525	S	3204 RECORD KEEPERS	16.00	05/07/19		CL 84960	16.00
82526	S	663 ROAD EQUIPMENT PARTS CENTER	14.04	05/07/19		CL 84784	14.04
82527	S	437 SANDY'S DONUTS	152.10	05/07/19		CL 84820	107.70
						CL 84927	44.40
82528	S	454 SANITATION PRODUCTS	78.48	05/07/19		CL 84908	78.48
82529	S	2632 SARAHANNE SUPLER	42.00	05/07/19		CL 84930	42.00
82530	S	450 SCHEELS	34.99	05/07/19		CL 84936	34.99
82531	S	639 SECRETARY OF STATE	36.00	05/07/19		CL 84838	36.00
82532	S	1634 SHANE ORN	343.86	05/07/19		CL 84825	343.86
82533	S	2655 SIMPLIFILE	285.00	05/07/19		CL 84950	285.00
82534	S	274 STEVE MOTTINGER	4250.00	05/07/19		CL 84916	4250.00

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
82535	S	3392 STONE PLANNING LLC	6557.00	05/07/19			
						CL 84965	6557.00
82536	S	88 STREICHER'S	5432.00	05/07/19			
						CL 84835	5432.00
82537	S	733 SWANSTON EQUIPMENT CORP.	494.59	05/07/19			
						CL 84863	494.59
82538	S	890 TCC MATERIALS	50.40	05/07/19			
						CL 84882	50.40
82539	S	3381 TERRY BAER	118.75	05/07/19			
						CL 84776	118.75
82540	S	792 TERRY STYF	63.00	05/07/19			
						CL 84824	63.00
82541	S	1156 TESSMAN	580.29	05/07/19			
						CL 84859	313.63
						CL 84874	133.33
						CL 84909	133.33
82542	S	2966 THE UNIVERSITY OF TENNESSEE	1000.00	05/07/19			
						CL 84941	1000.00
82543	S	1900 THE UPS STORE #5998	132.02	05/07/19			
						CL 84860	132.02
82544	S	1495 TRAVIS JOHNSON	42.00	05/07/19			
						CL 84928	42.00
82545	S	3389 TRIO ENVIRONMENTAL CONSULTING, INC	575.00	05/07/19			
						CL 84951	575.00
82546	S	1320 TYLER WILLIAMS	88.00	05/07/19			
						CL 84828	88.00
82547	S	1267 VERIZON WIRELESS	8910.29	05/07/19			
						CL 84706	8910.29
82548	S	2740 WASTE MANAGEMENT OF WI-MN	100.21	05/07/19			
						CL 84970	100.21
82549	S	2945 WEST FARGO AREA COMMUNITY PROGRAM	6518.80	05/07/19			
						CL 84959	6518.80
82550	S	566 WEST FARGO PARK DISTRICT	185384.72	05/07/19			
						CL 84888	185384.72
82551	S	2184 WEST SIDE STEEL	458.89	05/07/19			
						CL 84800	297.61
						CL 84899	161.28
82552	S	569 WF ANIMAL HOSPITAL	1304.90	05/07/19			
						CL 84839	1304.90
82553	S	549 WF PUB SCHOOLS DIST #6	12140.00	05/07/19			
						CL 84892	11990.00
						CL 84938	150.00
82554	S	338 XCEL ENERGY	9123.96	05/07/19			
						CL 84782	137.38
						CL 84890	227.75
						CL 84953	1758.11
						CL 84954	72.15
						CL 84955	62.10
						CL 84971	6866.47

05/07/19
11:28:27

CITY OF WEST FARGO, ND
Check Register
For the Accounting Period: 5/19

Page: 8 of 8
Report ID: AP300

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
82555	S	582 ZEP MANUFACTURING	482.82	05/07/19		CL 84850	482.82
Total for Claim Checks			1005054.53				
Count for Claim Checks			141				

* denotes missing check number(s)

of Checks: 141 Total: 1005054.53



Financial Statement

For 3 Months Ending March 31, 2019

The following 2 pages is a summarized financial statement of activity for the City of West Fargo for 3 months ending and cash position as of March 31, 2019. This format is likely to be different from what you have received in the past. I have tried to provide a much-summarized format allowing you to see the entire financial position of the City of West Fargo.

The first three columns are the revenue section. The first column is the 3 months actual, the next the annual budget and the third column the variance to the annual budget. The next three columns (columns 4-6) are the expenses. Same as the revenues the first is the 3 months ending (January – March) actual, the next the annual budget and the third column the variance to the annual budget. The next three columns (columns 7-9) are the Net from the revenues less expenses. Commonly referred to as Net Income. These 12 columns represent the financial activity of the City. The last column is the cash balance for the fund(s) as of March 31, 2019. The cash balances allows you to observe the “financial position/condition” of the fund or simply does the fund have cash in the bank or not.

At the bottom of the last page, I have included some notes to the financial statement. These are to explain some variance to budget I have identified as I read the more detail financial statements.

While I am presenting this format as the official financial report to be approved, I would welcome any input you might have to the financial report. I also would welcome any specific questions you might have regarding the financial report or a deeper dive into the detail for specific or all areas of the City.

Jim Larson, Finance Director.



Budgeted Funds		Revenue/Transfers			Expenditure/Transfers			Net			Cash
		Actual	Annual Budget	Variance	Actual	Annual Budget	Variance	Actual	Annual Budget	Variance	
1000	General Fund	\$ 9,199,703	\$ 16,994,838	\$ (7,795,135)	\$ 4,697,268	\$ 17,004,838	\$ 12,307,570	\$ 4,502,435	\$ (10,000)	\$ 4,512,435	\$ 27,516,162
2030	Share of Specials	115,535	130,000	(14,465)	190,515	130,000	(60,515)	(74,980)	-	(74,980)	(53,377)
2060	Fire Dept	1,744,573	1,978,205	(233,632)	837,864	2,128,405	1,290,541	906,708	(150,200)	1,056,908	1,077,951
7000	Library	806,719	972,550	(165,830.97)	318,753	1,264,200	945,447	487,966	(291,650)	779,616	1,471,850
7050	Airport	146,266	205,000	(58,734)	23,851	205,000	181,149	122,415	-	122,415	573,476
Total Government		\$ 12,012,795	\$ 20,280,593	\$ (8,267,798)	\$ 6,068,252	\$ 20,732,443	\$ 14,664,191	\$ 5,944,543	\$ (451,850)	\$ 6,396,393	\$ 30,586,063
2000	Sales Tax	\$ 2,654,774	\$ 10,010,000	\$ (7,355,226)	\$ 2,654,774	\$ 10,000,000	\$ 7,345,226	\$ -	\$ 10,000	\$ (10,000)	\$ 2,619,903
2970	Capital Improvements	2,036,202	7,653,300	(5,617,098)	61,051	7,620,000	7,558,949	1,975,151	33,300	1,941,851	14,484,722
2960	Economic Development	713,693	2,502,000	(1,788,307)	348,870	2,060,500	1,711,630	364,824	441,500	(76,676)	1,903,312
2130	Municipal Highway	435,434	1,600,000	(1,164,566)	1,712	1,600,000	1,598,288	433,722	-	433,722	782,494
2110	Gaming	300	12,000	(11,700)	-	60,000	60,000	300	(48,000)	48,300	63,620
2140	Tourism & Events	1,000	51,000	(50,000)	6,075	73,500	67,425	(5,075)	(22,500)	17,425	92,745
2500	Police Special Funds	64,345	5,500	58,845	14,448	5,500	(8,948)	49,897	-	49,897	57,768
2950	Assets Forfeitures	14,022	50,000	(35,979)	16,500	50,000	33,500	(2,479)	-	(2,479)	115,266
Total Special Funds		\$ 5,919,770	\$ 21,883,800	\$ (15,964,030)	\$ 3,103,430	\$ 21,469,500	\$ 18,366,070	\$ 2,816,340	\$ 414,300	\$ 2,402,040	\$ 20,119,830
3000	Total Debt Service	\$ 30,903,685	\$ 24,613,600	\$ 6,290,085	\$ 8,006,620	\$ 27,601,195	\$ 19,594,575	\$ 22,897,066	\$ (2,987,595)	\$ 25,884,661	\$ 61,239,224
6010	Sanitation	\$ 1,114,912	\$ 3,217,500	\$ (2,102,588)	\$ 867,008	\$ 3,462,750	\$ 2,595,742	\$ 247,904	\$ (245,250)	\$ 493,154	\$ 1,664,029
6020	Water	1,462,084	8,442,000	(6,979,916)	1,537,143	7,533,100	5,995,957	(75,059)	908,900	(983,959)	5,432,055
6025	Sewer	362,903	3,200,000	(2,837,097)	230,696	3,171,250	2,940,554	132,207	28,750	103,457	1,058,461
2200	Vector Control	24,033	100,000	(75,967)	8,550	100,000	91,450	15,483	-	15,483	44,178
2210	Forestry	26,205	102,500	(76,295)	24,630	342,750	318,120	1,574	(240,250)	241,824	(14,039)
2980	South Facility Hookup	-	-	-	27,720	50,000	22,280	(27,720)	(50,000)	22,280	2,903,128
2230	City Utility	4,005	106,000	(101,995)	88,995	150,000	61,005	(84,990)	(44,000)	(40,990)	230,180
5000	Tree Fund	2,400	61,000	(58,600)	190	40,000	39,810	2,210	21,000	(18,790)	562,575
6050	Sewage Surcharge	1,267	8,000	(6,733)	-	-	-	1,267	8,000	(6,733)	315,778
Total Enterprise		2,997,809	15,237,000	(12,239,191)	2,784,932	14,849,850	12,064,918	212,877	387,150	(174,273)	\$ 12,196,345
2050	Park Funds	221,552	680,000	(458,448)	221,552	680,000	458,448	-	-	-	\$ -
2141	FM CVB	64,882	210,000	(145,118)	19,815	210,000	190,185	45,068	-	45,068	45,068
Total Agency		\$ 286,435	\$ 890,000	\$ (603,565)	\$ 241,367	\$ 890,000	\$ 648,633	\$ 45,068	\$ -	\$ 45,068	\$ 45,068
Total All Budgeted Funds		\$ 52,120,494	\$ 82,904,993	\$ (30,784,499)	\$ 20,204,601	\$ 85,542,988	\$ 65,338,387	\$ 31,915,893	\$ (2,637,995)	\$ 34,553,888	\$ 124,186,529



Non-Budgeted Funds	Revenue/Transfers			Expenditure/Transfers			Net			Cash Balances
	Actual	Annual Budget	Variance	Actual	Annual Budget	Variance	Actual	Annual Budget	Variance	
4000 Construction	\$ -	\$ -	\$ -	\$ 3,662,738	\$ -	\$ (3,662,738)	\$ (3,662,738)	\$ -	\$ (3,662,738)	\$ (4,754,295)
2085 Equipment Reserve	26,250	-	26,250	52,423	-	(52,423)	(26,173)	-	(26,173)	(26,173)
2170 Clerk of Court Bond Fund	-	-	-	-	-	-	-	-	-	113,036
2600 Future Building	-	-	-	3,752	-	(3,752)	(3,752)	-	(3,752)	132,110
2962 Pioneer Place Improvements	50,000	-	50,000	-	-	-	50,000	-	50,000	150,000
2XXX Misc. Special Funds	-	-	-	-	-	-	-	-	-	354,140
7XXX Agency Funds	-	-	-	-	-	-	-	-	-	371,192
8600 Park District Special Assessment	358,230	-	358,230	-	-	-	358,230	-	358,230	399,129
Total Non-Budgeted Funds	\$ 434,480	\$ -	\$ 434,480	\$ 3,718,913	\$ -	\$ (3,718,913)	\$ (3,284,433)	\$ -	\$ (3,284,433)	\$ (3,260,861)
All Funds Combined	\$ 52,554,974	\$ 82,904,993	\$ (30,350,019)	\$ 23,923,514	\$ 85,542,988	\$ 61,619,474	\$ 28,631,460	\$ (2,637,995)	\$ 31,269,455	\$ 120,925,668

Notes to the Financials

1	The above represents the 1st quarter financial position of the City of West Fargo. Generally budget issues are not easily identified in the 1st quarter as there are equipment and some other expenses that are scheduled to be expended mostly in 1st quarter. Overall the City is on budget. The higher than normal snow fall in 1st quarter impacted our snow plow operations overtime, chemical to treat the roads (brine) and gas/oil are higher than normal and budgeted. These over budget variances could be offset this fall/early winter depending
2	Property Taxes - 88% of property taxes are collected in the 1st quarter of the year.
3	IT expenses are high compared to quarterly budget due to timing of technology purchases but under the annual budget. Most technology purchases are scheduled for 1st quarter of each year.
4	Police department salary expense is higher than budget but are offset by higher than budgeted grant revenue for the additional salary expense.
5	Police department equipment budget is expended at 60% of the annual budget at the end of 1st quarter. Timing of equipment for most of the police equipment is schedule for 1st quarter.
6	Debt Service (bond payments) and construction are shown as a separate line each. These funds are systematic (debt service) or managed with separate budgets maintained as part of the project files (construction).

Application For Property Tax Exemption For Improvements To Commercial And Residential Buildings

N.D.C.C. ch. 57-02.2

(File with the city assessor or county director of tax equalization)

Property Identification

1. Legal description of the property for which exemption is claimed EAGLE RUN 12TH LT 1 BLK 3 **1-13-1
~~SPL FRM 02-3000-01290-000~~ Lot 1 Blk 3 Eagle Run 12th

2. Address of Property 2832 SHEYENNE ST

3. Parcel Number ~~02-0791-00100-000~~ 02-0191-00100-000

4. Name of Property Owner BSRM REAL ESTATE HOLDINGS LLC Phone No. 701-234-0404

5. Mailing Address of Property Owner 2832 SHEYENNE ST

Description Of Improvements For Exemption

6. Describe type of renovating, remodeling, alteration or addition made to the building for which exemption is claimed (attach additional sheets if necessary). Converted shop space to offices, updated existing showroom space and converted a large portion to offices

7. Building permit No. bl20180912, 2019004 8. Year built (residential property) N/A

9. Date of commencement of making the improvements 11/01/2018

10. Estimated market value of property before the improvements \$ 1,825,000.00

11. Cost of making the improvement (all labor, material and overhead) \$ 750,000.00

12. Estimated market value of property after the improvements \$ 2,500,000.00

Applicant's Certification And Signature

13. I certify that the information contained in this application is correct to the best of my knowledge.

Applicant [Signature] Date 5/01/19

Assessor's Determination And Signature

14. The assessor/county director of tax equalization finds that the improvements described in this application do do not meet the qualifications for exemption for the following reason(s): Remodel over \$45K

Assessor/Director of Tax Equalization [Signature] Date 5/8/19

Action Of Governing Body

15. Action taken on this application by the governing board of the county or city: Approved Denied

Approval is subject to the following conditions: _____

Exemption is allowed for years 2020, 2021, 2022, 2023, 2024

Chairperson _____ Date _____

Alanna Rerick

1202 Cimarron Blvd West Fargo, ND 58078

Cell- 701.412.3642

alannarerick@gmail.com

April 29, 2019

City of West Fargo ATTN: Boards
800 4th Ave East, Ste 1
West Fargo, ND 58078

To Whom It May Concern,

Please accept my application for the open Board seat of the West Fargo Public Library as advertised on your website. I have worked in the non-profit world for 10+ years, with a bulk of that time spent organizing and hosting Board meetings for a local non-profit housing developer.

Currently, I am working as a Consultant for a local non-profit housing developer. There are no employees at this organization, and I have had to make executive level decisions on a regular basis. I also organize the financials for and host a regular meeting bi-monthly as well as conference calls.

My experience on “the other side” of the Board table has shown me how important a Board member position is to an organization. It is more than just showing up to regularly scheduled meetings. It means there may be some extra leg work on behalf of the organization. It means clear and concise communication. It means representing yourself and the organization in a positive light. It means being an advocate for the organization and its employees. The list goes on and on.

Being a part of a Board of Directors is just one piece of a successful organization. I believe my experience and understanding of the non-profit world would help the West Fargo Public Library stay on its path of success.

I look forward to hearing from you and thank you for your time.

Sincerely,



Alanna Rerick

Alanna I. Rerick

Phone: (701) 298-6215
E-mail: arerick@hotmail.com

1202 Cimmaron Blvd
West Fargo, ND 58078

Objective

Join the West Fargo Public Library Board

Skills

- Strong communication skills and work ethic
- 15+ years working with Non-Profits in the housing sector

Work Experience

- **Consultant, 4/15-Present**
Conduct all operations for a non-profit entity as it works towards dissolution. Manage two federally funded programs. Make executive decisions with the support of a Board of Directors. Hold regular Board meetings and phone calls on a monthly basis.
- **Eastern Dakota Housing Alliance, FSO, 6/10-2/15**
Conduct day to day financial operations for EDHA. Work with various agencies regarding federal and state monitoring. Create marketing material to further EDHA's mission.
- **Southeastern ND Community Action Agency, Property Manager 1/06-6/10**
Manage 100+ units in the Southeastern portion of the state. Oversee Caretakers at each property in 7 communities. All units are run under a Tax Credit Program or USDA Rural Development program. I am certified in both programs. Also continue the property management aspects detailed under GOLDMARK below.
- **Small Wonders Daycare and Childcare Center, 10/04-12/31/06**
Prepare and execute music lesson plans twice a week
- **GOLDMARK, Property Manager I, 5/02-10/04**
Experience includes extensive property management background, handling all residential concerns, managing accounts receivable and accounts payable, meeting budget goals, advertising, customer service and Leasing Representative responsibilities.
- **GOLDMARK, Leasing Representative, 4/01-5/02**
Experience includes showing/renting apartments, handling general concerns, daily interaction with residents, working with legal documents and resident retention.
- **Connections, Vocational Training Specialist, 5/00-4/01**
Experience includes training and aiding the mentally disabled in working in the general public.

Education

North Dakota State University, Fargo, ND
BS – Speech Communication

References available upon request



**CITY OF WEST FARGO
APPLICATION FOR BOARDS AND COMMISSIONS**

PLEASE ATTACH A COPY OF YOUR RESUME

Board of Commission for which you are applying: Public Library Board Member
 YOUR NAME (Last, First, Middle) Rerick, Alanna, Irene County: Cass
 Mailing Address: 1202 Cimarron Blvd City: West Fargo State: ND Zip: 58078
 Business Phone Number: _____ Home Phone Number: 701-412-3642
 Employer Name: Eastern Dakota Housing Alliance Your Job Title: Consultant
 Employer Address: 3233 S University Dr. City: Fargo State: ND Zip: 58104

EDUCATION AND GENERAL QUALIFICATIONS:

LEVEL	NAME OF SCHOOL	LOCATION	# YEARS ATTENDING	DID YOU GRADUATE	MAJOR-COURSE OF STUDY
HIGH SCHOOL	Fintey-Sharon	Fintey, ND	4	Y	
COLLEGE	NDSU	Fargo	5	Y	Sp. Comm
TRADE/BUSINESS/ CORRESPONDENCE					

MEMBERSHIPS IN ORGANIZATIONS AND OFFICES HELD (INDICATE DATES HELD)	
VOLUNTEER ACTIVITIES (INDICATE IF PAST OR PRESENT)	Play piano at Essentia
YOUR SPECIALS SKILLS AND QUALIFICATIONS	I lead a non-profit Board meeting every month. I have excellent leadership & communication skills.

REFERENCES (List three persons, not related to you, whom you have known for at least one year)

NAME	ADDRESS	PHONE NUMBER	YEARS ACQUAINTED
Valerie Benson	U.S. Bank 505 2nd Ave N Fargo	701-280-3573	7
Shelley Popiel	Walsh County Housing Authority 600 E. 9th St. Grafton, ND 58237	701-352-3260	7
Andrew Olson	1614 29th Ave E WF, ND	701-371-3492	10

I certify that the facts contained in this application are true and correct to the best of my knowledge. I authorize investigations of all statements contained herein and the references listed above to give you any and all information concerning my qualifications and any pertinent information they may have, personal or otherwise, and release all parties from all liability for any damages that may result from furnishing the same to you.

PLEASE RETURN COMPLETED FORM, RESUME AND COVER LETTER TO:

City of West Fargo ATTN: Boards
 800 4th Avenue East, Ste 1
 West Fargo ND 58078

SIGNATURE: Alanna Rerick
 DATE: 4/17/19



**CITY OF WEST FARGO
APPLICATION FOR BOARDS AND COMMISSIONS**

PLEASE ATTACH A COPY OF YOUR RESUME

Board of Commission for which you are applying: Library

YOUR NAME (Last, First, Middle) Herberholz, Melissa, Ann County: Cass

Mailing Address: 908 Meyer Blvd City: West Fargo State: ND Zip: 58078

Business Phone Number: _____ Home Phone Number: 701-793-2354

Employer Name: WEX Health Your Job Title: Quality Assurance Analyst

Employer Address: 700 26th Ave E City: West Fargo State: ND Zip: 58078

EDUCATION AND GENERAL QUALIFICATIONS:

LEVEL	NAME OF SCHOOL	LOCATION	# YEARS ATTENDING	DID YOU GRADUATE	MAJOR-COURSE OF STUDY
HIGH SCHOOL	Fargo South	Fargo, ND	2	Yes	Diploma
COLLEGE	U of M	Crookston, MN	2	Yes	BS - Information technology manage-
TRADE/BUSINESS/ CORRESPONDENCE	MSCTC	Moorhead, MN	2	Yes	with AAJ - computer programming

MEMBERSHIPS IN ORGANIZATIONS AND OFFICES HELD (INDICATE DATES HELD)	
VOLUNTEER ACTIVITIES (INDICATE IF PAST OR PRESENT)	
YOUR SPECIALS SKILLS AND QUALIFICATIONS	

REFERENCES (List three persons, not related to you, whom you have known for at least one year)

NAME	ADDRESS	PHONE NUMBER	YEARS ACQUAINTED
Rick Groth		218-236-4400	10
Marty Erbes		218-236-4400	10
Deb Flasketud		977-450-3322	8

I certify that the facts contained in this application are true and correct to the best of my knowledge. I authorize investigations of all statements contained herein and the references listed above to give you any and all information concerning my qualifications and any pertinent information they may have, personal or otherwise, and release all parties from all liability for any damages that may result from furnishing the same to you.

PLEASE RETURN COMPLETED FORM, RESUME AND COVER LETTER TO:

City of West Fargo ATTN: Boards
800 4th Avenue East, Ste 1
West Fargo ND 58078

SIGNATURE: [Signature]

DATE: 4/13/19

Melissa Herberholz
701-793-2354
Melissa.draeger.11@gmail.com

Education:

AAS Computer Programming
Minnesota State Community and Technical College

BS Information Technology Management
University of Minnesota – Crookston

Experience:

2019-Current **WEX Health** **Quality Assurance Analyst**

- Test applications
- Help with deployments
- Troubleshoot issues that may come up

2017-2019 **Myriad Mobile** **Integration Engineer 2**

- Write API code to gather customer data for App
- Code, test, debug integrations
- Estimate time requirements for integrations
- Help Entry Level employees with integrations
- Troubleshoot issues with customer integrations

2013-2017 **American Crystal Sugar Company** **Programmer Analyst**

- Developed and maintain PHP web systems
- Analyze user needs and create software/improvements
- Code, test, debug software
- User support

2013 **Scheels All Sports** **IBM I Programmer**

- Code, test, debug software
 - User support
 - Report and screen changes
-

Programming Languages:

PHP, COBOL, SQL, RPG, CL, JavaScript, AJAX, JSON, HTML, CSS, FormSprint, Synon, Java/Kotlin

Frameworks:

Zend, Laravel

April 13, 2019

To whom it may concern,

I would love to serve as a volunteer on the library board for a number of reasons. I have recently moved closer to the library myself and found it a great place for my children. I remember the wonderful opportunities the library offered to me as a child and I would love to pass that on to my children. I feel that the library isn't used as much as it could be by the younger generation. I feel that getting to help with different aspects of the library I could really help contribute to such a worthy and wonderful cause for the community. Until recently I was unaware of some of the wonderful things that the library has to offer to the younger generation. I would absolutely love the opportunity to help the younger generation get access to resources they may not normally have access to.

Thank you for your consideration,



Melissa Herberholz

March 27, 2019

West Fargo Library Board
City of West Fargo ATTN: Boards
800 4th Avenue East, Ste 1
West Fargo ND 58078

Dear Board Members,

Attached you'll find my application as well as my resume. My resume lists my work history but does not cover my writing credits. I've published over ten books with two publishers – Liquid Silver Books and Resplendence Publishing, and Indie-Published - Finding Your Path to Publishing”.

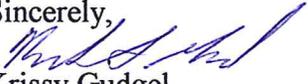
I'm a member of Romance Writers of America and serve as VP of Communications for their online chapter. I'm also a board member of Writer Zen Garden an online Writing Community.

This year I'm serving as Author Liaison for Author's Alley at the North Dakota Library Association's meeting in Fargo, ND.

Many writers are also avid readers, including myself. I would like to see libraries offer more reader/writer content either through writing groups, involving local authors at the library or writer residencies.

Even if you do not consider me for a board position, I would love to connect with your library and would be happy to be of assistance if you require an author for advising or advocacy.

Sincerely,


Krissy Gudgel
Writing as Tina Holland

6375 County Road 81
Colfax, ND 58018



CITY OF WEST FARGO
APPLICATION FOR BOARDS AND COMMISSIONS

PLEASE ATTACH A COPY OF YOUR RESUME

Board of Commission for which you are applying: West Fargo Library Board Position
 YOUR NAME (Last, First, Middle) Gudgel, Kristinia, Anne County: Richland
 Mailing Address: 6375 County Rd. 81 City: Colfax State: ND Zip: _____
 Cell Phone Number: 701-640-5395 Home Phone Number: 701-553-9116
 Employer Name: Self-employed Your Job Title: Author Tina Holland
 Employer Address: 6375 County Rd. 81 City: Colfax State: ND Zip: 58018

EDUCATION AND GENERAL QUALIFICATIONS:

LEVEL	NAME OF SCHOOL	LOCATION	# YEARS ATTENDING	DID YOU GRADUATE	MAJOR COURSE OF STUDY
HIGH SCHOOL	Fargo North	Fargo, ND	4	Yes	NA
COLLEGE	MSUM	Moorhead, MN	3	No	Journalism
TRADE/BUSINESS/ CORRESPONDENCE					
MEMBERSHIPS IN ORGANIZATIONS AND OFFICES HELD (INDICATE DATES HELD)		Romance Writers of America - Vice President Writer Zen Garden Board Member			
VOLUNTEER ACTIVITIES (INDICATE IF PAST OR PRESENT)		RWA RITA Judge - 2017 thru 2019 Cargill Cores Committee (Past)			
YOUR SPECIAL SKILLS AND QUALIFICATIONS		Served 12 years on RWA Boards in various positions. Author Liaison for upcoming NDLA Author Alley			

REFERENCES (List three persons, not related to you, whom you have known for at least one year)

NAME	ADDRESS	PHONE NUMBER	YEARS ACQUAINTED
Krystal Van Buren	364 Autumn Wood Trail Decatur, AL 35603	Cell 701-238-1113	30 yrs.
Amanda Clothier	Seattle, WA	Cell 773-726-4306	10 yrs.
Glenn Lepore	Providence, RI	Work 401-274-4516	20 yrs

I certify that the facts contained in this application are true and correct to the best of my knowledge. I authorize investigations of all statements contained herein and the references listed above to give you any and all information concerning my qualifications and any pertinent information they may have, personal or otherwise, and release all parties from all liability for any damages that may result from furnishing the same to you.

PLEASE RETURN COMPLETED FORM, RESUME AND COVER LETTER TO:
 City of West Fargo ATTN: Boards
 800 4th Avenue East, Ste 1
 West Fargo ND 58078

SIGNATURE: Kristinia A. Gudgel
 DATE: March 27, 2019

Kristinia A. Gudgel

Over twenty years of supporting people, products and platforms.

Professional Experience

Supply Chain Coordinator - Cargill, Idaho Falls, ID (located in West Fargo, ND) • April 2012 – November 2017

- Primary liaison to the functional groups between GEOS Specialties and CASCNA as it relates to West Fargo (e.g., supply chain, production, customer service, transportation and QA).
- Monitor customer order delivery. Planning of inbound, inter-facility, and outbound freight movements to and from Cargill locations and distribution centers. Manage railcar fleet to optimize utilization. Audit Inbound Seed Deliveries.
- Participates as a member of the Supply Chain Team in support of functional, BU and Cargill strategic initiatives.
- SAP Super User under TC3 implementation. Working in MGMS system and TM.
- Microsoft Skills in – Outlook, Excel, Publisher, Movie Maker, PowerPoint and Access.

Administrative/Production Assistant – Cargill, Wahpeton, ND • January, 2001 – April 2012

- EHS – Monthly reporting of Cargill and Contractor Labor Hours to Corporate. Site Safety Admin for BU. Assign and track Nourishing U classes. Track New Hire Orientation, EE Safety, Critical Task and Rolling Stock training. Filing Permits, Weekly Title V reporting. Enter ECR's from Safety Audits and create org chart attachments for Safety RCA's. Back-up BBS Facilitator.
- QA – Enter Sensory Testing into PQDB. One of nine internal FSSC22K auditors for the Wahpeton Facility. Performing Sensory Panel, Ordering Lab Supplies and taking notes at Food Safety Meetings. I was also a Document Runner during the FSSC Audit.
- Maintenance – Contractor (Unicco) Time Reporting, Maintain Leak Tag Spreadsheet.
- Production – Maintain Hard Copy SOP's, filed and maintained data and log sheets. Download and maintain digital copies of Railcar Seal pictures.
- IT – Printer Maintenance as needed. Update Wahpeton Website as needed.

Merchandising Assistant – Cargill, Wahpeton, ND • January, 2000 – December 2000

- Contracted Corn Bushels. Balanced Grower Bushels between Access database and JDE. Filed contracts and handled mass mailings (including merge)

Rail Coordinator – Cargill, Wahpeton, ND • July 1996 (ProGold) – December 1999

- Shipped and tracked product, chemical and corn railcar movement from origin to destination. Reconciled Demurrage with local railroad company. Product Coordinator back-up and support to meet customer needs.

Physician Recruitment Assistant – Lutheran Health Systems, Fargo, ND • 1989-1992

- Maintained Access Database of Physicians for Owned, Managed and Leased Hospitals. Attended Recruitment fairs in the Midwest and followed up with interested physicians by mail and phone. Coordinated J-1 Visa paperwork between HR and Physician Recruiter. Coordinated physician visits to corporate office for locum tenens physicians.

Education and Memberships

Attended both North Dakota State University (1990) and Moorhead State University (1991-1992). No degrees obtained.

Major: Journalism Minor: Zoology
Graduated from Fargo North High School in 1989.

Board Member of Romance Writers of America Online, part of Published Author Network. Teach one online class per year at RWAOL.

Board member of Writer Zen Garden. Planned Annual Writing Retreat in 2016.

Consent Agenda Item: e

NOTICE

PLEASE TAKE NOTICE that the City Commission of the City of West Fargo will hold a public hearing at 5:30 p.m. on June 3, 2019, at the City Commission Chambers in West Fargo City Hall, 800 Fourth Avenue East, West Fargo, North Dakota, concerning the granting of a new retail on premises beer, wine and liquor license at 695 - 32nd Avenue East in the City of West Fargo. This application is being made by BWR-West Fargo, Inc., d/b/a Buffalo Wings & Rings. Any person interested in this matter may attend the hearing.

Tina Fisk
City Auditor

NOTICE

PLEASE TAKE NOTICE that the City Commission of the City of West Fargo will hold a public hearing at 5:30 p.m. on June 17, 2019, at the City Commission Chambers in West Fargo City Hall, 800 Fourth Avenue East, West Fargo, North Dakota, concerning the granting of a new retail on premises beer and wine license at 18 First Street in the City of West Fargo. This application is being made by Peterson Holdings II, LLC, d/b/a The Art Bar. Any person interested in this matter may attend the hearing.

Tina Fisk
City Auditor



GAMING SITE AUTHORIZATION
 OFFICE OF ATTORNEY GENERAL
 SFN 17996 (02/2018)

G - _____ (_____) _____
 Site License Number
 (Attorney General Use Only)

Full, Legal Name of Gaming Organization **North Dakota Association For The Disabled, Inc.**

The above organization is hereby authorized to conduct games of chance under the license granted by the Attorney General of the State of North Dakota at the following location

Name of Location Blvd Pub, Inc.			
Street 3147 Bluestem Dr	City West Fargo	ZIP Code 58078	County Cass
Beginning Date(s) Authorized 7/1/19	Ending Date(s) Authorized 6/30/20	Number of twenty-one tables if zero, enter "0": 1	
Specific location where games of chance will be conducted <u>and</u> played at the site (required) Gaming will be conducted in the entire bar (excluding restrooms).			
If conducting Raffle or Poker activity provide date(s) or month(s) of event(s) if known			

RESTRICTIONS (City/County Use Only)

Days of week of gaming operations (if restricted)	Hours of gaming (if restricted)
---	---------------------------------

ACTIVITY TO BE CONDUCTED Please check all applicable games to be conducted at site (required)

<input checked="" type="checkbox"/> Bingo	<input type="checkbox"/> Club Special	<input checked="" type="checkbox"/> Sports Pools
<input checked="" type="checkbox"/> ELECTRONIC Quick Shot Bingo	<input type="checkbox"/> Tip Board	<input checked="" type="checkbox"/> Twenty-One
<input type="checkbox"/> Raffles	<input type="checkbox"/> Seal Board	<input checked="" type="checkbox"/> Poker
<input type="checkbox"/> ELECTRONIC 50/50 Raffle	<input type="checkbox"/> Punchboard	<input type="checkbox"/> Calcuttas
<input checked="" type="checkbox"/> Pull Tab Jar	<input type="checkbox"/> Prize Board	<input type="checkbox"/> Paddlewheels with Tickets
<input checked="" type="checkbox"/> Pull Tab Dispensing Device	<input type="checkbox"/> Prize Board Dispensing Device	<input type="checkbox"/> Paddlewheel Table
<input checked="" type="checkbox"/> ELECTRONIC Pull Tab Device		

APPROVALS

Attorney General	Date
Signature of City/County Official	Date
PRINT Name and official position of person signing on behalf of city/county above	

INSTRUCTIONS:

1. City/County-Retain a **copy** of the Site Authorization for your files.
2. City/County-Return the **original** Site Authorization form to the Organization.
3. Organizations - Send the **original, signed**, Site Authorization to the Office of Attorney General with any other applicable licensing forms for final approval.

RETURN ALL DOCUMENTS TO:

Office of Attorney General
 Licensing Section
 600 E Boulevard Ave, Dept. 125
 Bismarck, ND 58505-0040
 Telephone: 701-328-2329 OR 800-326-9240

*CK# 27684
 pd 5/3/19
 \$100*



RENTAL AGREEMENT
 OFFICE OF ATTORNEY GENERAL
 LICENSING SECTION
 SFN 9413 (Rev. 05-2018)

COPY

License Number (Office Use Only)

Site Owner (Lessor) Blvd Pub, Inc.		Site Name Blvd Pub, In.=c,		Site Phone Number (701) 552-7798
Site Address 3147 Bluestem Dr	City West Fargo	State ND	Zip Code 58078	County Cass
Organization (Lessee) North Dakota Association For The Disabled, Inc.		Rental Period 3/22/2019 to 6/30/2023		Monthly Rent Amount
1. Is Bingo going to be conducted at this site? 1a. If "Yes" to number 1 above, is Bingo the primary game conducted? If "Yes," enter the monthly rent amount to be paid. Then answer questions 2 - 7 but do not enter any rent amounts.		<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		\$ 0.00
2. Is Twenty-One conducted at this site? Number of Tables with wagers up to \$5 _____ X Rent per Table \$ _____ Number of Tables with wagers over \$5 <u>1</u> X Rent per Table \$ <u>300.00</u>		<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		\$ 300.00
3. Is Paddlewheels conducted at this site? Number of Tables _____ X Rent per Table \$ _____		<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		\$
4. Is Pull Tabs involving either a jar bar, standard, or electronic dispensing device conducted at this site? Please check: <input checked="" type="checkbox"/> Jar Bar <input checked="" type="checkbox"/> Standard Dispensing Device <input checked="" type="checkbox"/> Electronic Dispensing Device Number of Electronic Devices _____		<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		\$ 300.00
No additional rent is allowed for electronic pull tabs. Rent must be based on dispensing device requirements per NDCC 53-06.1-11 (5)(a)(b)				
Total Monthly Rent				\$ 600.00

5. If the only gaming activity to be conducted at this site is a raffle drawing, please check here.

TERMS OF RENTAL AGREEMENT:

This RENTAL AGREEMENT is between the Owner (LESSOR) and Organization (LESSEE) that will be leasing the site to conduct games of chance.

The LESSOR agrees that no game will be directly operated as part of the lessor's business.

The LESSOR agrees that the (lessor), (lessor's) spouse, (lessor's) common household members, (management), (management's) spouse, or an employee of the lessor who is in a position to approve or deny a lease may not conduct games at any of the organization's sites and, except for officers and board of directors members who did not approve the lease, may not play games at that site. However, a bar employee may redeem a winning pull tab, pay a prize board cash prize, and award a prize board merchandise prize involving a dispensing device and sell raffle tickets or sports pool chances on a board on behalf of an organization.

The LESSOR agrees that the lessor's on call or temporary or permanent employee will not, directly or indirectly, conduct games at the site as an employee of the lessee on the same day the employee is working in the area of the bar where alcoholic beverages are dispensed or consumed.

If the LESSEE provides the Lessor with a temporary loan of funds for redeeming pull tabs or prize boards, or both, involving a dispensing device, the Lessor agrees to repay the entire loan immediately when the lessee discontinues using the device at the site.

The LESSOR agrees not to interfere with or attempt to influence the lessee's selection of games, determination of prizes, including a bingo jackpot prize, or disbursement of net proceeds.

The LESSOR agrees not to loan money to, provide gaming equipment to, or count drop box cash for the lessee.

At the LESSOR'S option, the lessee agrees that this rental agreement may be automatically terminated if the lessee's gaming license is suspended at this site for more than fourteen days or revoked.

Signature of Lessor 	Title GM/co-owner	Date 03-25-19
Signature of Lessee 	Title CEO	Date 03-22-19

(over)

Consent Agenda Item: h



GAMING SITE AUTHORIZATION
 OFFICE OF ATTORNEY GENERAL
 SFN 17996 (02/2018)

G - _____ (_____) _____
 Site License Number
 (Attorney General Use Only)

Full, Legal Name of Gaming Organization **Prairie Public Broadcasting, Inc**

The above organization is hereby authorized to conduct games of chance under the license granted by the Attorney General of the State of North Dakota at the following location

Name of Location Three Lyon's L L C			
Street 975 13th Ave E	City West Fargo	ZIP Code 58078	County Cass
Beginning Date(s) Authorized 7/1/19	Ending Date(s) Authorized 6/30/20	Number of twenty-one tables if zero, enter "0": 0	
Specific location where games of chance will be conducted and played at the site (required) Games are conducted and played through out the facility, excluding the restrooms.			
If conducting Raffle or Poker activity provide date(s) or month(s) of event(s) if known			

RESTRICTIONS (City/County Use Only)

Days of week of gaming operations (if restricted)	Hours of gaming (if restricted)
---	---------------------------------

ACTIVITY TO BE CONDUCTED Please check all applicable games to be conducted at site (required)

<input type="checkbox"/> Bingo	<input type="checkbox"/> Club Special	<input type="checkbox"/> Sports Pools
<input type="checkbox"/> ELECTRONIC Quick Shot Bingo	<input type="checkbox"/> Tip Board	<input type="checkbox"/> Twenty-One
<input checked="" type="checkbox"/> Raffles	<input type="checkbox"/> Seal Board	<input type="checkbox"/> Poker
<input type="checkbox"/> ELECTRONIC 50/50 Raffle	<input type="checkbox"/> Punchboard	<input type="checkbox"/> Calcuttas
<input type="checkbox"/> Pull Tab Jar	<input type="checkbox"/> Prize Board	<input type="checkbox"/> Paddlewheels with Tickets
<input checked="" type="checkbox"/> Pull Tab Dispensing Device	<input type="checkbox"/> Prize Board Dispensing Device	<input type="checkbox"/> Paddlewheel Table
<input checked="" type="checkbox"/> ELECTRONIC Pull Tab Device		

APPROVALS

Attorney General	Date
Signature of City/County Official	Date
PRINT Name and official position of person signing on behalf of city/county above	

INSTRUCTIONS:

1. City/County-Retain a **copy** of the Site Authorization for your files.
2. City/County-Return the **original** Site Authorization form to the Organization.
3. Organizations - Send the **original, signed**, Site Authorization to the Office of Attorney General with any other applicable licensing forms for final approval.

RETURN ALL DOCUMENTS TO:

Office of Attorney General
 Licensing Section
 600 E Boulevard Ave, Dept. 125
 Bismarck, ND 58505-0040
 Telephone: 701-328-2329 OR 800-326-9240

*CK# 114605
 PD 5-8-19
 \$ 100.*



RENTAL AGREEMENT
 OFFICE OF ATTORNEY GENERAL
 LICENSING SECTION
 SFN 9413 (Rev. 02-2018)

License Number (Office Use Only)

Site Owner (Lessor) Three Lyon's L L C		Site Name 3 Lyon's		Site Phone Number (701) 277-5966	
Site Address 975 13th Ave E		City West Fargo	State ND	Zip Code 58078	County Cass
Organization (Lessee) Prairie Public Broadcasting, Inc		Rental Period 7/1/2018 to 6/30/2020		Monthly Rent Amount	
1. Is Bingo going to be conducted at this site? 1a. If "Yes" to number 1 above, is Bingo the primary game conducted? If "Yes," enter the monthly rent amount to be paid. Then answer questions 2 - 7 but do not enter any rent amounts.				<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
				<input type="checkbox"/> No	<input type="checkbox"/> Yes
2. Is Twenty-One conducted at this site? Number of Tables with wagers up to \$5 _____ X Rent per Table \$ _____				<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Number of Tables with wagers over \$5 _____ X Rent per Table \$ 300.00 0					
3. Is Paddlewheels conducted at this site? Number of Tables _____ X Rent per Table \$ _____				<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
4. Is Pull Tabs involving either a jar bar and/or a dispensing device conducted at this site? Please check: <input type="checkbox"/> Jar Bar Only <input checked="" type="checkbox"/> Dispensing Device Only <input type="checkbox"/> Jar Bar and Dispensing Device				<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Total Monthly Rent					\$ 400.00
5. Is Electronic Pull Tabs involving an Electronic Pull Tab Device conducted at this site? No additional rent can be paid for electronic pull tabs. Rent must be based on standard dispensing device requirements per NDCC 53-06.1-11(5)(a)(b)				<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
				If "Yes", number of devices <u>10</u> BBT	
6. If the only gaming activity to be conducted at this site is a raffle drawing, please check here.				<input type="checkbox"/>	
TERMS OF RENTAL AGREEMENT:					
This RENTAL AGREEMENT is between the Owner (LESSOR) and Organization (LESSEE) that will be leasing the site to conduct games of chance.					
The LESSOR agrees that no game will be directly operated as part of the lessor's business.					
The LESSOR agrees that the (lessor), (lessor's) spouse, (lessor's) common household members, (management), (management's) spouse, or an employee of the lessor who is in a position to approve or deny a lease may not conduct games at any of the organization's sites and, except for officers and board of directors members who did not approve the lease, may not play games at that site. However, a bar employee may redeem a winning pull tab or prize boards involving a dispensing device and sell raffle tickets or sports pool chances on a board on behalf of an organization.					
The LESSOR agrees that the lessor's on call or temporary or permanent employee will not, directly or indirectly, conduct games at the site as an employee of the lessee on the same day the employee is working in the area of the bar where alcoholic beverages are dispensed or consumed.					
If the LESSEE provides the Lessor with a temporary loan of funds for redeeming pull tabs or prize boards, or both, involving a dispensing device, the Lessor agrees to repay the entire loan immediately when the lessee discontinues using the device at the site.					
The LESSOR agrees not to interfere with or attempt to influence the lessee's selection of games, determination of prizes, including a bingo jackpot prize, or disbursement of net proceeds.					
The LESSOR agrees not to loan money to, provide gaming equipment to, or count drop box cash for the lessee.					
At the LESSOR'S option, the lessee agrees that this rental agreement may be automatically terminated if the lessee's gaming license is suspended at this site for more than fourteen days or revoked.					
Signature of Lessor 		Title Owner		Date 4/25/18	
Signature of Lessee 		Title President & CEO		Date 7/27/18 (over)	

3 Lyons



Entrance

E Tab Machine

Office

Bar

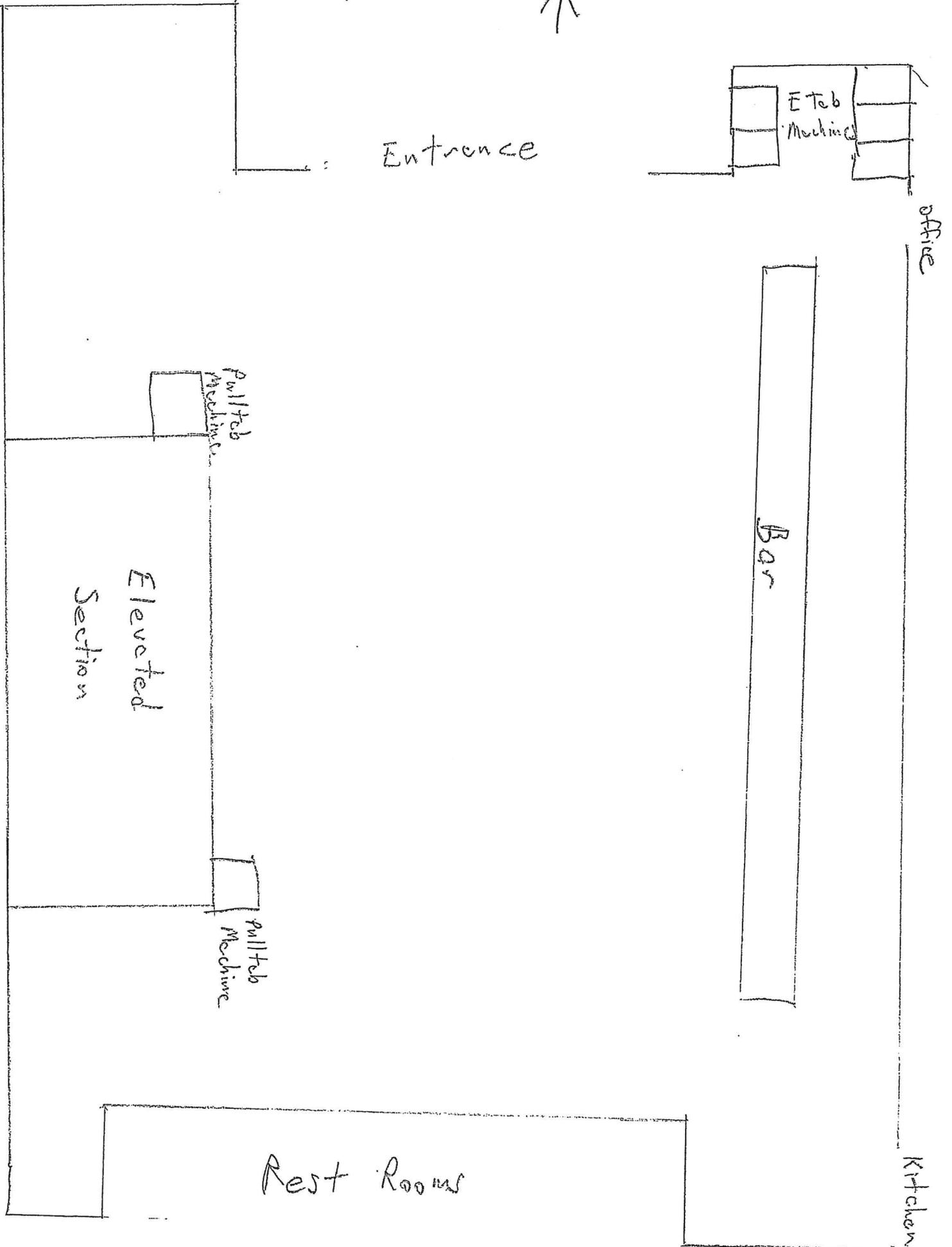
Elevated Section

Pull Tab Machine

Pull Tab Machine

Rest Rooms

Kitchen





GAMING SITE AUTHORIZATION
 OFFICE OF ATTORNEY GENERAL
 SFN 17996 (02/2018)

G - _____ (_____) _____
 Site License Number
 (Attorney General Use Only)

Full, Legal Name of Gaming Organization **Prairie Public Broadcasting, Inc**

The above organization is hereby authorized to conduct games of chance under the license granted by the Attorney General of the State of North Dakota at the following location

Name of Location Wurst Bier Hall			
Street 3179 Bluestem Dr	City West Fargo	ZIP Code 58078	County Cass
Beginning Date(s) Authorized 7/1/19	Ending Date(s) Authorized 6/30/20	Number of twenty-one tables if zero, enter "0": 0	
Specific location where games of chance will be conducted and played at the site (required) Games are conducted and played through out the facility, excluding the restrooms.			
If conducting Raffle or Poker activity provide date(s) or month(s) of event(s) if known			

RESTRICTIONS (City/County Use Only)

Days of week of gaming operations (if restricted)	Hours of gaming (if restricted)
---	---------------------------------

ACTIVITY TO BE CONDUCTED Please check all applicable games to be conducted at site (required)

<input type="checkbox"/> Bingo	<input type="checkbox"/> Club Special	<input type="checkbox"/> Sports Pools
<input checked="" type="checkbox"/> ELECTRONIC Quick Shot Bingo	<input type="checkbox"/> Tip Board	<input type="checkbox"/> Twenty-One
<input checked="" type="checkbox"/> Raffles	<input type="checkbox"/> Seal Board	<input type="checkbox"/> Poker
<input type="checkbox"/> ELECTRONIC 50/50 Raffle	<input type="checkbox"/> Punchboard	<input type="checkbox"/> Calcuttas
<input type="checkbox"/> Pull Tab Jar	<input type="checkbox"/> Prize Board	<input type="checkbox"/> Paddlewheels with Tickets
<input checked="" type="checkbox"/> Pull Tab Dispensing Device	<input type="checkbox"/> Prize Board Dispensing Device	<input type="checkbox"/> Paddlewheel Table
<input checked="" type="checkbox"/> ELECTRONIC Pull Tab Device		

APPROVALS

Attorney General	Date
Signature of City/County Official	Date
PRINT Name and official position of person signing on behalf of city/county above	

INSTRUCTIONS:

1. City/County-Retain a **copy** of the Site Authorization for your files.
2. City/County-Return the **original** Site Authorization form to the Organization.
3. Organizations - Send the **original, signed**, Site Authorization to the Office of Attorney General with any other applicable licensing forms for final approval.

RETURN ALL DOCUMENTS TO:

Office of Attorney General
 Licensing Section
 600 E Boulevard Ave, Dept. 125
 Bismarck, ND 58505-0040
 Telephone: 701-328-2329 OR 800-326-9240

*CK# 114605
 Pd 5-8-19
 \$100*



RENTAL AGREEMENT
 OFFICE OF ATTORNEY GENERAL
 LICENSING SECTION
 SFN 9413 (Rev. 05-2018)

License Number (Office Use Only)

Site Owner (Lessor) Sausage King L L C		Site Name Wurst Bier Hall		Site Phone Number (701) 532-0484
Site Address 3179 Bluestem Dr.	City West Fargo	State ND	Zip Code 58078	County Cass
Organization (Lessee) Prairie Public Broadcasting, Inc		Rental Period 7/1/2019 to 6/30/2021		Monthly Rent Amount
1. Is Bingo going to be conducted at this site? 1a. If "Yes" to number 1 above, is Bingo the primary game conducted? If "Yes," enter the monthly rent amount to be paid. Then answer questions 2 - 7 but do not enter any rent amounts.				<input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes \$
2. Is Twenty-One conducted at this site? Number of Tables with wagers up to \$5 _____ <input checked="" type="checkbox"/> Rent per Table \$ _____ <input type="checkbox"/> No <input type="checkbox"/> Yes Number of Tables with wagers over \$5 _____ <input checked="" type="checkbox"/> Rent per Table \$ _____				\$ \$
3. Is Paddlewheels conducted at this site? Number of Tables _____ <input checked="" type="checkbox"/> Rent per Table \$ _____ <input type="checkbox"/> No <input type="checkbox"/> Yes				\$
4. Is Pull Tabs involving either a jar bar, standard, or electronic dispensing device conducted at this site? Please check: <input type="checkbox"/> Jar Bar <input checked="" type="checkbox"/> Standard Dispensing Device <input type="checkbox"/> Electronic Dispensing Device Number of Electronic Devices _____ No additional rent is allowed for electronic pull tabs. Rent must be based on dispensing device requirements per NDCC 53-06.1-11 (5)(a)(b)				\$ 400.00
Total Monthly Rent				\$ 400.00

5. If the only gaming activity to be conducted at this site is a raffle drawing, please check here.

TERMS OF RENTAL AGREEMENT:

This RENTAL AGREEMENT is between the Owner (LESSOR) and Organization (LESSEE) that will be leasing the site to conduct games of chance.

The LESSOR agrees that no game will be directly operated as part of the lessor's business.

The LESSOR agrees that the (lessor), (lessor's) spouse, (lessor's) common household members, (management), (management's) spouse, or an employee of the lessor who is in a position to approve or deny a lease may not conduct games at any of the organization's sites and, except for officers and board of directors members who did not approve the lease, may not play games at that site. However, a bar employee may redeem a winning pull tab, pay a prize board cash prize, and award a prize board merchandise prize involving a dispensing device and sell raffle tickets or sports pool chances on a board on behalf of an organization.

The LESSOR agrees that the lessor's on call or temporary or permanent employee will not, directly or indirectly, conduct games at the site as an employee of the lessee on the same day the employee is working in the area of the bar where alcoholic beverages are dispensed or consumed.

If the LESSEE provides the Lessor with a temporary loan of funds for redeeming pull tabs or prize boards, or both, involving a dispensing device, the Lessor agrees to repay the entire loan immediately when the lessee discontinues using the device at the site.

The LESSOR agrees not to interfere with or attempt to influence the lessee's selection of games, determination of prizes, including a bingo jackpot prize, or disbursement of net proceeds.

The LESSOR agrees not to loan money to, provide gaming equipment to, or count drop box cash for the lessee.

At the LESSOR'S option, the lessee agrees that this rental agreement may be automatically terminated if the lessee's gaming license is suspended at this site for more than fourteen days or revoked.

Signature of Lessor 	Title Owner	Date 5-6-19
Signature of Lessee 	Title President & CEO	Date 4/18/19

Kitchen

Kitchen

Restrooms



12/1/56
P.O. Box



Front
Door

West



Regular Agenda Item: #1

Commissioner _____ introduced the following resolution and moved its adoption:

**RESOLUTION SETTING THE FEE SCHEDULE FOR
LIQUOR AND CABARET LICENSES**

WHEREAS, the City of West Fargo, North Dakota (the “City”) has the authority to regulate the licenses granted in the City; and

WHEREAS, the City charges fees for licenses related to the sale of alcohol and entertainment; and

WHEREAS, under Sections 10-0105 and 10-0125 of the Revised Ordinances of 1990 of the City of West Fargo relating to liquor and cabaret licenses, the fee for each license will be as set forth on the license fee schedule as adopted by resolution of the City Commission for the City of West Fargo; and

WHEREAS, the City Commission wishes to set the fees associated with the various types of liquor licenses and for cabaret licenses.

NOW THEREFORE, be it resolved by the City Commission of the City of West Fargo as follows:

1. That the City has reviewed fees of surrounding cities in comparison to the City’s fees for liquor and cabaret licenses.
2. That the fees for liquor and cabaret licenses, as required under Section 10-0105 and 10-0125 of the Revised Ordinances of 1990 of the City of West Fargo, are hereby set in the amounts set forth in the LIQUOR AND CABARET LICENSE FEE SCHEDULE attached as **Exhibit A**.
3. That the City Commission hereby adopts the fees set forth in the LIQUOR AND CABARET LICENSE FEE SCHEDULE.
4. The fee modifications set forth in the LIQUOR AND CABARET LICENSE FEE SCHEDULE are effective on the 1st day of June, 2019, unless and until amended by the West Fargo City Commission.

Dated: May 20, 2019.

APPROVED:

Bernie L. Dardis, President of the Board of
City Commissioners

ATTEST:

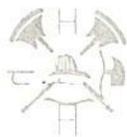
Tina Fisk, City Auditor

The motion for the adoption of the foregoing resolution was duly seconded by Commissioner _____. On roll call vote the following commissioners voted aye: _____ . The following commissioners voted nay: _____. The following commissioners were absent and not voting: _____. The majority having voted aye, the motion carried and the resolution was duly adopted.

EXHIBIT A

LIQUOR AND CABARET LICENSE FEE SCHEDULE

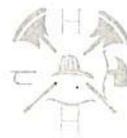
LICENSE TYPE	ANNUAL FEE
Wholesaler's License	\$2,000
Retail Bar On and Off Sale Liquor, Wine and Beer License	\$3,000
Retail Bar On Sale Liquor, Wine and Beer License	\$2,000
Retail Liquor Store Off Sale Liquor, Wine and Beer License	\$2,000
Restaurant On and Off Sale Liquor, Wine and Beer License	\$2,000
Restaurant On Sale Liquor, Wine and Beer License	\$2,000
Retail Club or Lodge On Sale Liquor, Wine and Beer License	\$2,000
Retail Convenience/Grocery Store Off Sale Liquor, Wine and Beer License	\$1,200
Retail Business On Sale Wine and Beer License	\$1,200
Public Facilities License	\$2,000
Cabaret License	\$250



WEST FARGO



FIRE DEPARTMENT



TO: West Fargo City Commission

FROM: Dan Fuller, West Fargo Fire Chief

RE: Lease Option for Pierce Fire Mfg

Greetings,

Since the commission approved the lease documents for a two fire truck lease through E-One last fall, we were notified by E-One that they were changing the design of our ladder truck. This was due to a lawsuit and injunction on a patent infringement complaint from a competitor. After deliberation with our command staff and the city administrator, I cancelled the contract and purchase with the coordinator of our city legal counsel.

The second manufacturer, Pierce Fire, was contacted to refresh their bid. They are currently the only manufacture in the market that can produce the truck we specified.

I am asking for a resolution, attached, to approve the lease for seven years. The annual amount is budgeted as a line item for the department.

Daniel Fuller, MPA, EFO
Chief of the Department
West Fargo Fire & Rescue

RESOLUTION

Municipality/Lessee: CITY OF WEST FARGO, ND

Principal Amount Expected To Be Financed: \$1,550,000.00

WHEREAS, the Municipality is a political subdivision of the State in which Municipality is located (the "State") and is duly organized and existing pursuant to the Constitution and laws of the State.

WHEREAS, pursuant to applicable law, the governing body of the Municipality ("Governing Body") is authorized to acquire, dispose of and encumber real and personal property, including, without limitation, rights and interest in property, leases and easements necessary to the functions or operations of the Municipality.

WHEREAS, the Governing Body hereby finds and determines that the execution of one or more Master Lease-Purchase Agreements ("Leases") in the principal amount not exceeding the amount stated above for the purpose of acquiring the property ("Equipment") to be described in the Leases is appropriate and necessary to the functions and operations of the Municipality.

WHEREAS, PNC Equipment Finance, LLC ("Lessor") shall act as Lessor under said Leases.

NOW, THEREFORE, Be It Ordained by the Governing Body of the Municipality:

Section 1. Either one of the CITY ADMINISTRATOR OR FIRE CHIEF (each an "Authorized Representative") acting on behalf of the Municipality, is hereby authorized to negotiate, enter into, execute, and deliver one or more Leases in substantially the form set forth in the document presently before the Governing Body, which document is available for public inspection at the office of the Municipality. Each Authorized Representative acting on behalf of the Municipality is hereby authorized to negotiate, enter into, execute, and deliver such other documents relating to the Lease as the Authorized Representative deems necessary and appropriate. All other related contracts and agreements necessary and incidental to the Leases are hereby authorized.

Section 2. By a written instrument signed by any Authorized Representative, said Authorized Representative may designate specifically identified officers or employees of the Municipality to execute and deliver agreements and documents relating to the Leases on behalf of the Municipality.

Section 3. The aggregate original principal amount of the Leases shall not exceed the amount stated above and shall bear interest as set forth in the Leases and the Leases shall contain such options to purchase by the Municipality as set forth therein.

Section 4. The Municipality's obligations under the Leases shall be subject to annual appropriation or renewal by the Governing Body as set forth in each Lease and the Municipality's obligations under the Leases shall not constitute general obligations of the Municipality or indebtedness under the Constitution or laws of the State.

Section 5. Reserved.

Section 6. This resolution shall take effect immediately upon its adoption and approval.

ADOPTED AND APPROVED on this _____, 2019.

The undersigned Secretary/Clerk of the above-named Municipality hereby certifies and attests that the undersigned has access to the official records of the Governing Body of the Municipality, that the foregoing resolutions were duly adopted by said Governing Body of the Municipality at a meeting of said Governing Body and that such resolutions have not been amended or altered and are in full force and effect on the date stated below.

LESSEE: CITY OF WEST FARGO, ND

Signature of Secretary/Clerk of Municipality

[SEAL]

Print Name: _____

Official Title: _____

Date: _____



City Commission Agenda Item Request

Please Note: The following information must be completed and submitted before noon on the Thursday preceding the City Commission Meeting. Failure to comply may delay action being taken on your request.

Office Use:

Regular Agenda Item #:

Consent Agenda Item #:

Agenda Item Information:

Contact Name: *

Tina/James

Phone Number: *

7014335353

Email Address:

Date *

5/16/2019

Topic for Consent or Regular Agenda?

Please select one option:

Consent Agenda

Regular Agenda

Please Briefly Describe Your Request *

Budget Amendment for IT

Site Address or Legal Description (if applicable)

Action Being Requested from City Commission *

Approve the budget Amendment

Upload Additional Documentation (Optional):

scan.pdf

545.13KB

Tegile 5-10-19

Quote #030498 v1

Prepared For:

City of West Fargo

James Anderson
Accounts Payable 800 4th Avenue East, Ste 1
West Fargo, ND 58078

P: (701) 433-5353

E: james.anderson@westfargond.gov

Prepared By:

Network Center, Inc.

Matt Helgeson
3487 S University Dr
Fargo, ND 58104

P: 701-235-0940

E: matt.helgeson@netcenter.net

Date Issued:

05.14.2019

Expires:

06.07.2019

Tegile		Price	Qty	Ext. Price
T4200	Tegile SAN/NAS Server - 4 x Intel Xeon - 52 TB Installed HDD Capacity - 5.80 TB Total Installed SSD Capacity - 464 GB RAM DRAM - 10 Gigabit Ethernet - Network (RJ-45) - IntelliFlash - iSCSI, FCP, NFS, CIFS, SMB 3.0 - 3U - Rack-mountable	\$37,806.34	1	\$37,806.34
HE-50	Tegile Drive Enclosure - 3U Rack-mountable - 52 TB Installed HDD Capacity - 5.80 TB Installed SSD capacity	\$19,808.78	2	\$39,617.56
CARD-10G-E-2-SFP+	Tegile 10Gigabit Ethernet Card - 2 Port(s) - Optical Fiber	\$1,427.62	2	\$2,855.24
HE-50-5YR-4HR	INTELLICARE 5YR PREMIER SUP FOR HE-50 24X7 4HR ONS	\$8,429.27	1	\$8,429.27
HE-50-5YR-NBD	INTELLICARE 5YR STD SUP FOR SVCS HE-50 NBD 24X7 CALL SUP	\$5,619.51	1	\$5,619.51
T4200-5YR-4HR	INTELLICARE 5YR PREMIER SUP FORSVCS T4200 24X7 4HR ONSITE CALL	\$15,921.95	1	\$15,921.95
Subtotal				\$110,249.87

Quote Summary		Amount
Tegile		\$110,249.87
Total:		\$110,249.87

Taxes, shipping, handling and other fees may apply. We reserve the right to cancel orders arising from pricing or other errors.

Acceptance

Network Center, Inc.

City of West Fargo

Matt Helgeson

Signature / Name

05/14/2019

Date

Signature / Name

Initials

Date



TWICE THE FLASH HALF THE CASH



Spring into savings! Purchase an expansion shelf between April 1 and June 28, 2019, and get double the capacity.

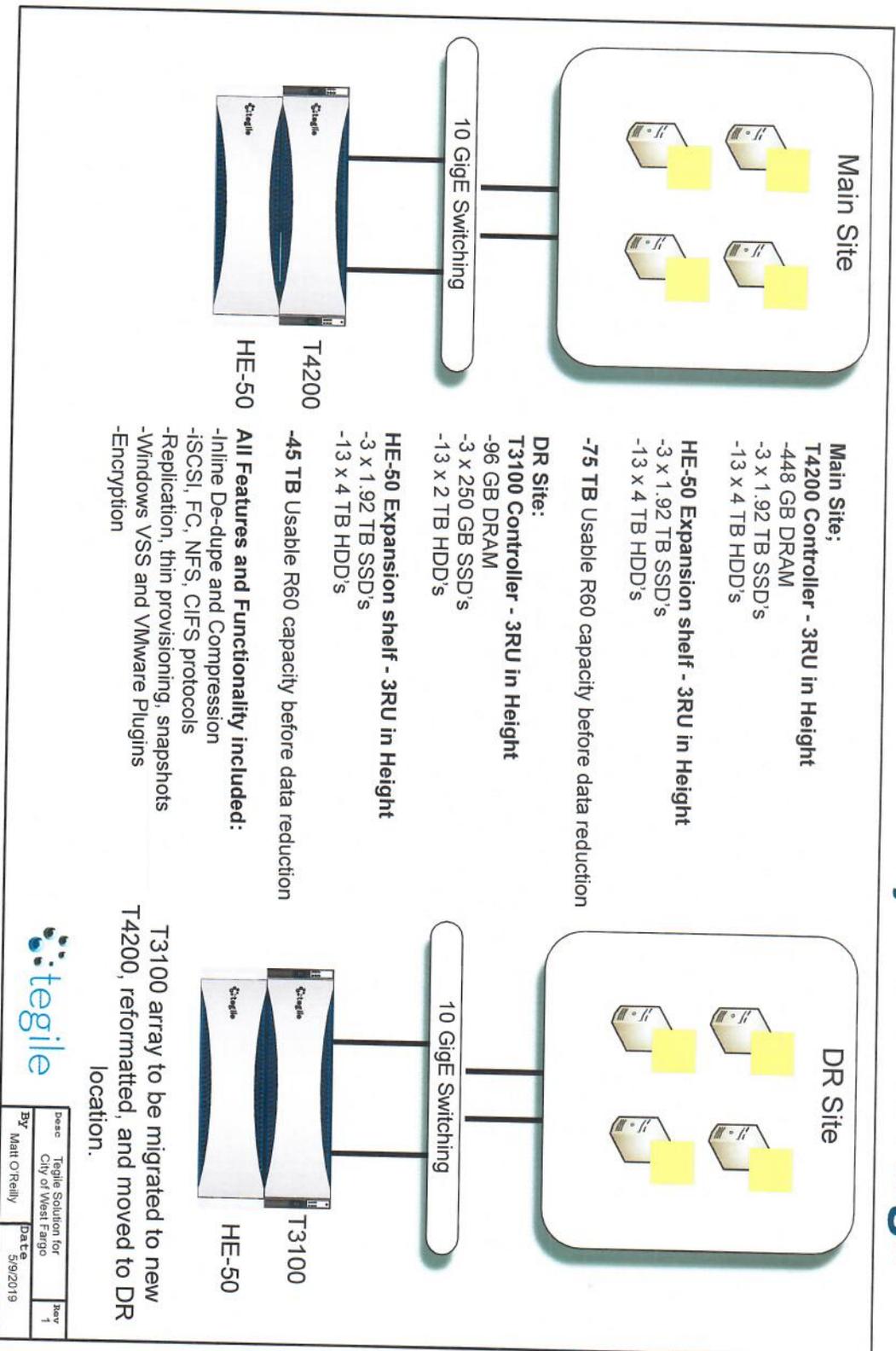
Take advantage of our special spring season pricing and contact your local VAR or Western Digital Account Executive today!

Hybrid-Flash Expansion		All-Flash Expansion	
You pay for an...	You get an...	You pay for an...	You get an...
HE-25	HE-50	FE-10	FE-25
		FE-25	FE-50
		FE-50	FE-100
		FE-100	FE-200

Western Digital.

This limited time offer is valid in authorized countries of the Americas and EMEA. Western Digital reserves all rights and to limit offer which can be changed, modified or canceled at any time. All rights reserved. © 2019 Western Digital Corporation or its affiliates.

WD Intelliflash Solution for City of West Fargo



	
Date: Tegile Solution for City of West Fargo	Rev: 1
By: Matt O'Reilly	Date: 5/9/2019



City Commission Agenda Item Request

Please Note: The following information must be completed and submitted before noon on the Thursday preceding the City Commission Meeting. Failure to comply may delay action being taken on your request.

Office Use:

Regular Agenda Item #:

Consent Agenda Item #:

Agenda Item Information:

Contact Name: *

Melissa Richard

Phone Number: *

701-433-5314

Email Address:

melissa.richard@westfagond.gov

Date *

5/15/2019

Topic for Consent or Regular Agenda?

Please select one option:

Consent Agenda

Regular Agenda

Please Briefly Describe Your Request *

Final approval of special assessment community forum recommendations.

Site Address or Legal Description (if applicable)

Action Being Requested from City Commission *

Approval for staff to pursue action based on two major recommendations from the Special Assessments on Community Forums.

Upload Additional Documentation (Optional):

AGENDA ITEM DESCRIPTION
CITY COMMISSION
WEST FARGO, NORTH DAKOTA

Agenda # 5

***Please Note: The following information must be completed and submitted to the West Fargo City Auditor's Office by the Thursday noon preceding the City Commission meeting. Failure to comply may result in no action being taken on your request.

1. CONTACT PERSON: Tim Solberg

2. PHONE NUMBER: 433-5320 DATE: May 15, 2019

3. PLEASE **BRIEFLY** DESCRIBE YOUR REQUEST:

Conditional Use Permit for relocation and construction of accessory buildings for a non-farm residential use in an Agricultural district.

4. SITE ADDRESS OR LEGAL DESCRIPTION (if applicable):

Located at 16674 37th Street SE (parcel in the NE $\frac{1}{4}$ of Section 10, T139N, R50W [Mapleton Township]), Cass County, North Dakota.

5. ACTION BEING REQUESTED FROM CITY COMMISSION:

Approval of the Conditional Use Permit subject to the condition listed in the staff report.

STAFF REPORT

A19-18		CONDITIONAL USE PERMIT	
16674 37th Street SE, West Fargo, ND 58078			
Parcel in the NE¼ of Section 10, T139N, R50W [Mapleton Township], Cass County, North Dakota			
Owner/Applicant: Matt Folstad		Staff Contact: Lisa Sankey	
Planning & Zoning Commission Introduction:		05/14/2019	
Public Hearing:		05/14/2019 - Approved	
City Commission:		05/20/2019	

PURPOSE:

Relocation & construction of accessory buildings for a non-farm residential use in an Agricultural district

STATEMENTS OF FACT:

Land Use Classification:	G-4B Future Mixed-Use Growth Sector
Existing Land Use:	Residential
Current Zoning District(s):	A: Agricultural
Zoning Overlay District(s):	NA
Total area size:	7 acres
Adjacent Zoning Districts:	A: Agricultural
Adjacent street(s):	37 th Street SE – Section Line Township Road
Adjacent Bike/Pedestrian Facilities:	None
Available Parks/Trail Facilities:	None

DISCUSSION AND OBSERVATIONS:

- The property is located in the City's extraterritorial (ET) area about a mile west of West Fargo.
- The current use of a non-farm single-family dwelling is considered a conditional use within the Agricultural District and was in place at the time of adoption into the City's ET jurisdictional boundary. Any addition to an existing conditional use requires an amended conditional use permit.
- The applicant submitted a site plan showing an existing 1,440 ft² accessory building getting new siding, roofing and being relocated to a concrete slab to the west. A new 2,000-ft² structure will be placed where the first building was previously. An enclosed lean-to would be constructed on the south side of the new building and west side of existing pole barn.
- The area is within a Special Flood Hazard Area (SFHA) Zone A. The new building will be required to meet all applicable Federal, State, and Local regulations.
- A conditional use permit agreement is required to be signed prior to issuance of a building permit and may include conditions deemed appropriate by the Commission.

CRITERIA FOR GRANTING CONDITIONAL USE PERMIT:

With reference to the criteria for granting conditional uses, the following is noted:

1. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.

STAFF REPORT

- The property has adequate access and the improvements will not affect this access.
- 2. Off-street parking and loading areas where required, with particular attention to the items in (1) above and the economic, noise, glare or odor effects of the special exception on adjoining properties and properties generally in the district.
 - No concerns noted
- 3. Refuse and service areas, with particular reference to the items in (1) and (2) above.
 - No concerns noted
- 4. Utilities, with reference of locations, availability, and compatibility.
 - No concerns noted
- 5. Screening and buffering with reference to type, dimensions, and character.
 - No concerns noted
- 6. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district.
 - No concerns noted
- 7. Required yards and other open space.
 - No concerns noted.
- 8. Soil conditions, as they relate to on-site sewage disposal, water supply, basement excavating, road construction and related land use.
 - No concerns noted.
- 9. General compatibility with adjacent properties and other property in the district.
 - The land adjacent to this area is tilled farmland.

NOTICES:

Sent to:	Property owners within 350', Mapleton Township officials, Cass County Planning and the Cass County Sanitarian.
----------	--

Comments Received:

- None

CONSISTENCY WITH COMPREHENSIVE PLAN AND OTHER APPLICABLE CITY PLANS AND ORDINANCES:

- The area is in the G-4B Future Mixed-Use Growth Sector. There are no municipal services yet available in the area; however, it is recognized as an important future commercial node in West Fargo 2.0 and increased development outside of that which is consistent with the Comprehensive Plan should be discouraged. The City does not expect to extend infrastructure to the area until a FM Diversion or alternative flood mitigation measures have been undertaken. At that time, master planning for the area would also be required. The minor additions to an existing use could be considered of such minimal impact that they may be considered acceptable given the uncertainty of timing for future development of this corridor. That being said, it is good to discuss and consider the future of the site and make known to the applicant how the improvements to the site may be impacted by future growth.
- The application is providing an accessory to an existing use within the area outside the Sheyenne Diversion and is not increasing development in a flood prone area, therefore the application may be considered consistent with the Comprehensive Plan.

STAFF REPORT

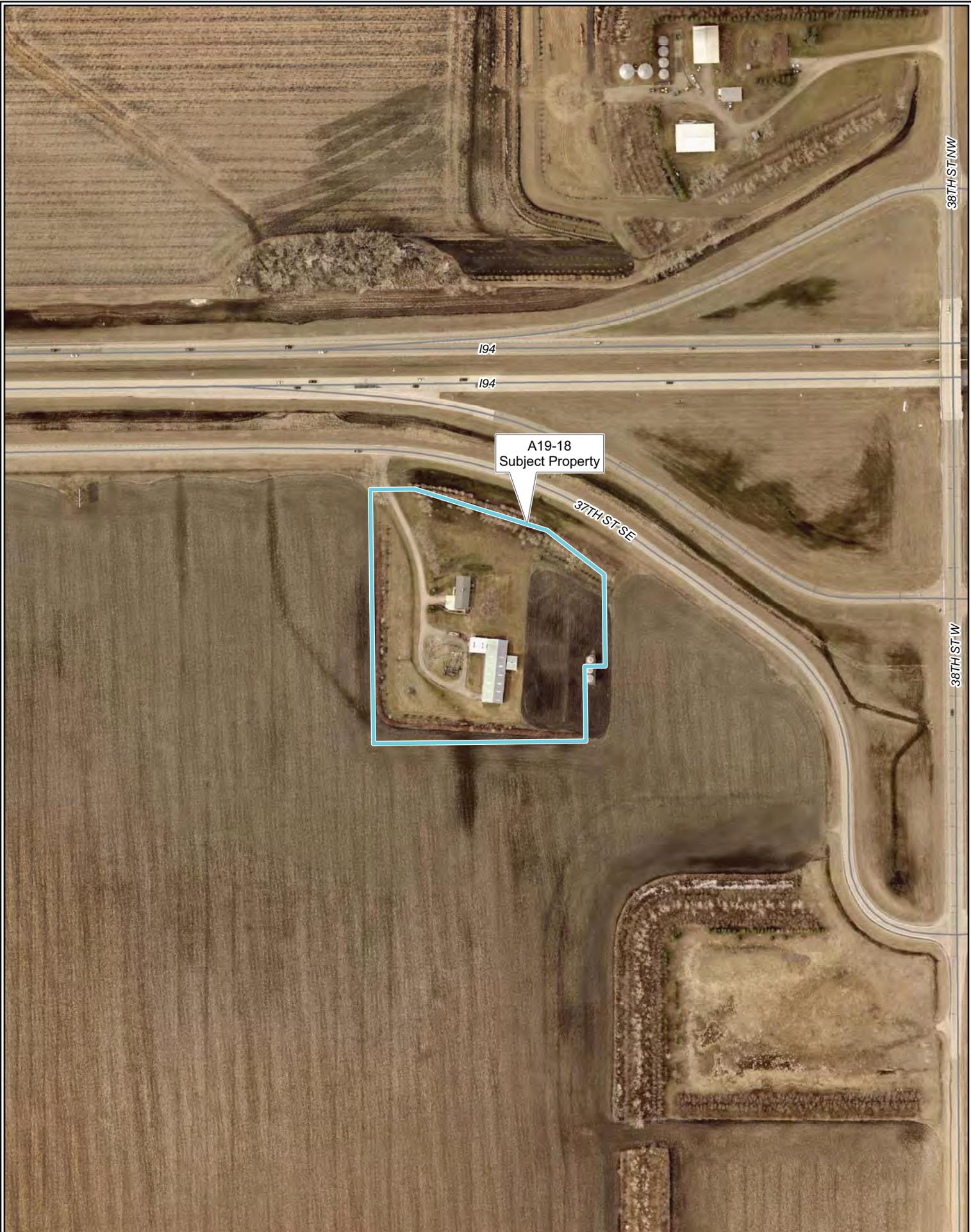
RECOMMENDATIONS:

It is recommended that the City approve the proposed application on the basis that it is consistent with City plans and ordinances with recommended conditions of approval as follows:

1. Applicant acknowledge the future growth plans of the City in this area through signing of the Conditional Use Permit.
2. Signed Conditional Use Permit Agreement is received.
3. The applicant is to meet all Federal, State and local requirements for improvements to the site and structures.

PLANNING AND ZONING RECOMMENDATION:

At their May 14, 2019 meeting, the Planning and Zoning Commission recommended approval of the conditional use permit, subject to the three conditions listed above.





A19-18
Subject Property



- | | | | | |
|--------------------------------|---------------------------------|-------------------------------|------------------------------------|----------------------------------|
| □ A: Agricultural | □ LI: Light Industrial | □ R-1: One and Two Family | □ R-1S: Special One and Two Family | □ R-4: Mobile Home |
| □ C: Light Commercial | □ M: Heavy Industrial | □ R-1A: Single Family | □ R-1SM: Mixed One and Two Family | □ R-5: Manufactured Home |
| □ C-OP: Commercial Office Park | □ P: Public | □ R-1B: Special Single Family | □ R-2: Limited Multiple Dwelling | □ R-L1A: Large Lot Single Family |
| □ HC: Heavy Commercial | □ PUD: Planned Unit Development | □ R-1E: Rural Estate | □ R-3: Multiple Dwelling | □ R-R: Rural Residential |







Matt

Folstad

701-200-7606

Avery 2550 @ aol.com

Google Maps

16674 37th ST SE

West Fargo, ND 58078



Imagery ©2019 Google, Map data ©2019 Google 50 ft

1. Building A, 36' x 40' steel framed, to be relocated to a concrete slab on the red boxed area. Building will get new siding & roofing.
2. New pole building 40' x 50' approx to be placed where building "A" was. Building "B" is a pole type 50' x 155'. A lean-to would be built on the south side of new building & west side of existing pole building. (Red area) Lean-to would be enclosed.

Conditional Use Permit

State of North Dakota,
County of Cass,
City of West Fargo

WHEREAS, **Matthew Folstad** (hereinafter referred to as the “**Applicant**”) has paid the sum of two hundred dollars (\$200.00) to the City of West Fargo, as required by the City of West Fargo Zoning Ordinance, and has complied with all the requirements of said ordinance necessary for obtaining this permit; and

WHEREAS, the **Applicant** is the legal owner of property located at 16674 37th Street SE, West Fargo, ND 58078 legally described as (hereinafter referred to as the “Property”):

Parcel in the NE¼ of Section 10, T139N, R50W [Mapleton Township], Cass County, North Dakota

NOW, THEREFORE, by order of the West Fargo City Commission, the said applicant is hereby issued a Conditional Use Permit to:

Construct an accessory building for personal storage in an agriculturally zoned district.

on the above-described Property with the following conditions:

1. The applicant is to meet all Federal, State and local requirements for improvements to the site and structures.
2. Applicant acknowledge the future growth plans of the City (G-4B Future Mixed-Use Growth Sector) in this area as referenced in the West Fargo Comprehensive Plan through signing of this Conditional Use Permit
3. The City of West Fargo reserves the right to inspect the property for compliance with these conditions.
4. Any and all claims that arise or may arise against Applicant, its agents, servants, or employees while engaged in the use of the Property, shall in no way be the obligation of the City of West Fargo. Furthermore, Applicant, its agents servants, employees, or assigns shall indemnify, hold harmless, and defend the City, its officers and employees against any and all liability, loss, costs, damages, expenses, claims, actions, or judgments, including attorneys’ fees which the City, its officers or employees may hereafter sustain, incur, or be required to pay, in any way connected with the use of the Property or City actions related to the granting of this Conditional Use Permit.
5. Any improvements made to the property in connection with this Conditional Use Permit shall be at the sole expense of the Owner and shall not be the obligation of the City.

Dated this ____ day of _____, 20__.

**WEST FARGO BOARD OF CITY
COMMISSIONERS:**

Bernie L. Dardis, President of the Board

STATE OF NORTH DAKOTA)
)
COUNTY OF CASS)

On this ____ day of _____, 20__, before me, the undersigned, a Notary Public in and for said county and state, personally appeared Bernie L. Dardis, known to me to be the person who is described in and who executed the above and foregoing document and acknowledged to me that he executed the same.

[SEAL]

Notary Public

Dated this ____ day of _____, 20__.

**WEST FARGO PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT:**

Tim Solberg, AICP, Director of Planning &
Zoning

STATE OF NORTH DAKOTA)
)
COUNTY OF CASS)

On this ____ day of _____, 20__, before me, the undersigned, a Notary Public in and for said county and state, personally appeared Tim Solberg, known to me to be the person who is described in and who executed the above and foregoing document and acknowledged to me that he executed the same.

[SEAL]

Notary Public

AGENDA ITEM DESCRIPTION
CITY COMMISSION
WEST FARGO, NORTH DAKOTA

Agenda # 6

***Please Note: The following information must be completed and submitted to the West Fargo City Auditor's Office by the Thursday noon preceding the City Commission meeting. Failure to comply may result in no action being taken on your request.

1. CONTACT PERSON: Tim Solberg

2. PHONE NUMBER: 433-5320 DATE: February 14, 2019

3. PLEASE **BRIEFLY** DESCRIBE YOUR REQUEST:

Conditional Use Permit for review and expansion of airport facilities.

4. SITE ADDRESS OR LEGAL DESCRIPTION (if applicable):

Located at 1040 19th Ave NW (Lot 1, Block 1 of Airport 1st Addition), City of West Fargo, North Dakota.

5. ACTION BEING REQUESTED FROM CITY COMMISSION:

Approval based on Conditions listed in the Staff Report.

STAFF REPORT

A19-3		CONDITIONAL USE PERMIT	
1040 19 th Ave NW			
Lot 1, Block 1 of Airport 1 st Addition			
Applicant/Applicant Authority: West Fargo Airport		Staff Contact: Tim Solberg, AICP	
Planning & Zoning Commission Introduction:		02/12/2019	
Public Hearing:		02/12/2019 – Approval	
City Commission:		02/18/2019	

PURPOSE:

Review existing site and proposed site plan to allow for continued expansion of airport facilities.

STATEMENTS OF FACT:

Existing Land Use:	Municipal Airport
Land Use Classification:	G-2 Sub-Urban – Growth Sector
Current Zoning District(s):	A: Agricultural
Zoning Overlay District(s):	None
Total area size:	48.67 Acres
Adjacent Zoning Districts:	A: Agricultural (ET, City Lagoons, Sheyenne Diversion)
Adjacent street(s):	19 th Avenue NW

DISCUSSION AND OBSERVATIONS:

- The property is currently developed with the West Fargo Airport.
- A conditional use permit for the Airport was approved in 1986 and again in 2002 for expansion of facilities. Proposed expansion of hangars beyond what has been constructed to date on the farthest east side of the property was not approved in previous conditional use permits.
- The applicant is requesting additional hangars and has submitted a site plan showing existing hangars, as well as location of hangars to be built in the future. Rather than state a specific location and number of hangars to be built, the Airport Authority has submitted a general area of expansion which would not require that the Conditional Use Permit be revisited if development happens within this area of expansion.
- The West Fargo Airport Authority is undergoing an “Airport Layout Plan” with the ND Aeronautics Commission as it considers its future. City staff hopes to work with them to include them in future plans surrounding the decommissioning of the City Lagoons and future redevelopment around this area that is present in West Fargo 2.0. Issues such as neighboring building heights and any future expansion on 19th Avenue NW were noted as items which should be addressed as the airport continues to see growth and increased traffic.
- For the purposes of this application long range airport planning does not appear to be necessary, but is provided as additional information for the City Commission and staff to work with the Airport Authority on in the future.
- A conditional use permit agreement is required to be signed prior to issuance of a building permit and may include conditions deemed appropriate by the Commission.

STAFF REPORT

CRITERIA FOR GRANTING CONDITIONAL USE PERMIT:

With reference to the criteria for granting conditional uses, the following is noted:

1. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.
 - The property has adequate access and the improvements will not affect the current access.
2. Off-street parking and loading areas where required, with particular attention to the items in (1) above and the economic, noise, glare or odor effects of the special exception on adjoining properties and properties generally in the district.
 - No concerns noted.
3. Refuse and service areas, with particular reference to the items in (1) and (2) above.
 - No concerns noted.
4. Utilities, with reference of locations, availability, and compatibility.
 - No concerns noted.
5. Screening and buffering with reference to type, dimensions, and character.
 - No concerns noted.
6. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district.
 - No concerns noted.
7. Required yards and other open space.
 - No concerns noted.
8. Soil conditions, as they relate to on-site sewage disposal, water supply, basement excavating, road construction and related land use.
 - No concerns noted.
9. General compatibility with adjacent properties and other property in the district.
 - No concerns noted.

NOTICES:

Sent to: Property owners within 350' and applicable agencies and departments.

Comments Received:

- None to date

CONSISTENCY WITH COMPREHENSIVE PLAN AND OTHER APPLICABLE CITY PLANS AND ORDINANCES:

- The proposed plan is consistent with City plans and Ordinances.

RECOMMENDATIONS:

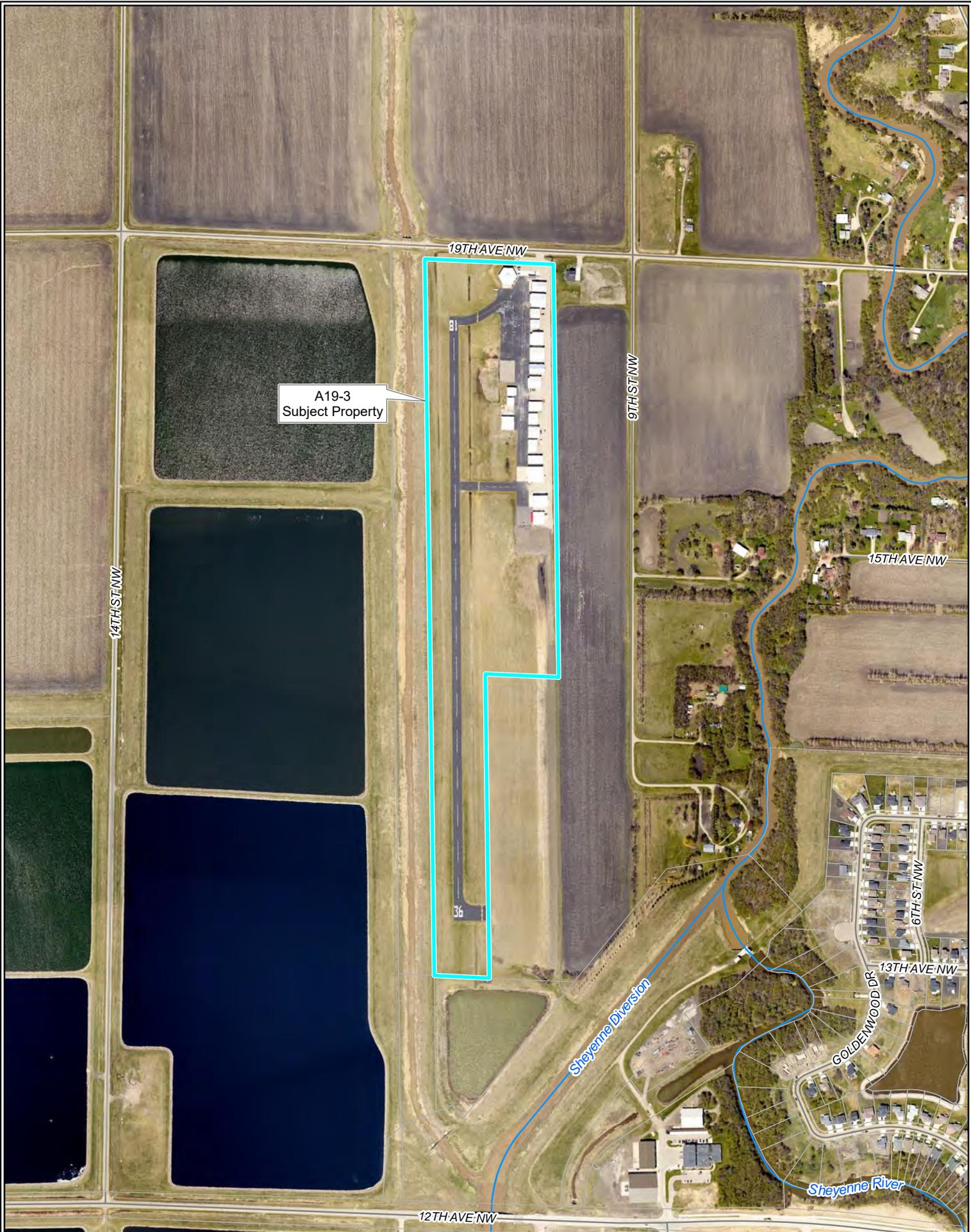
It is recommended that the City approve the proposed application on the basis that it is consistent with City plans and ordinances with recommended conditions of approval as follows:

1. A Signed Conditional Use Permit Agreement is received.

STAFF REPORT

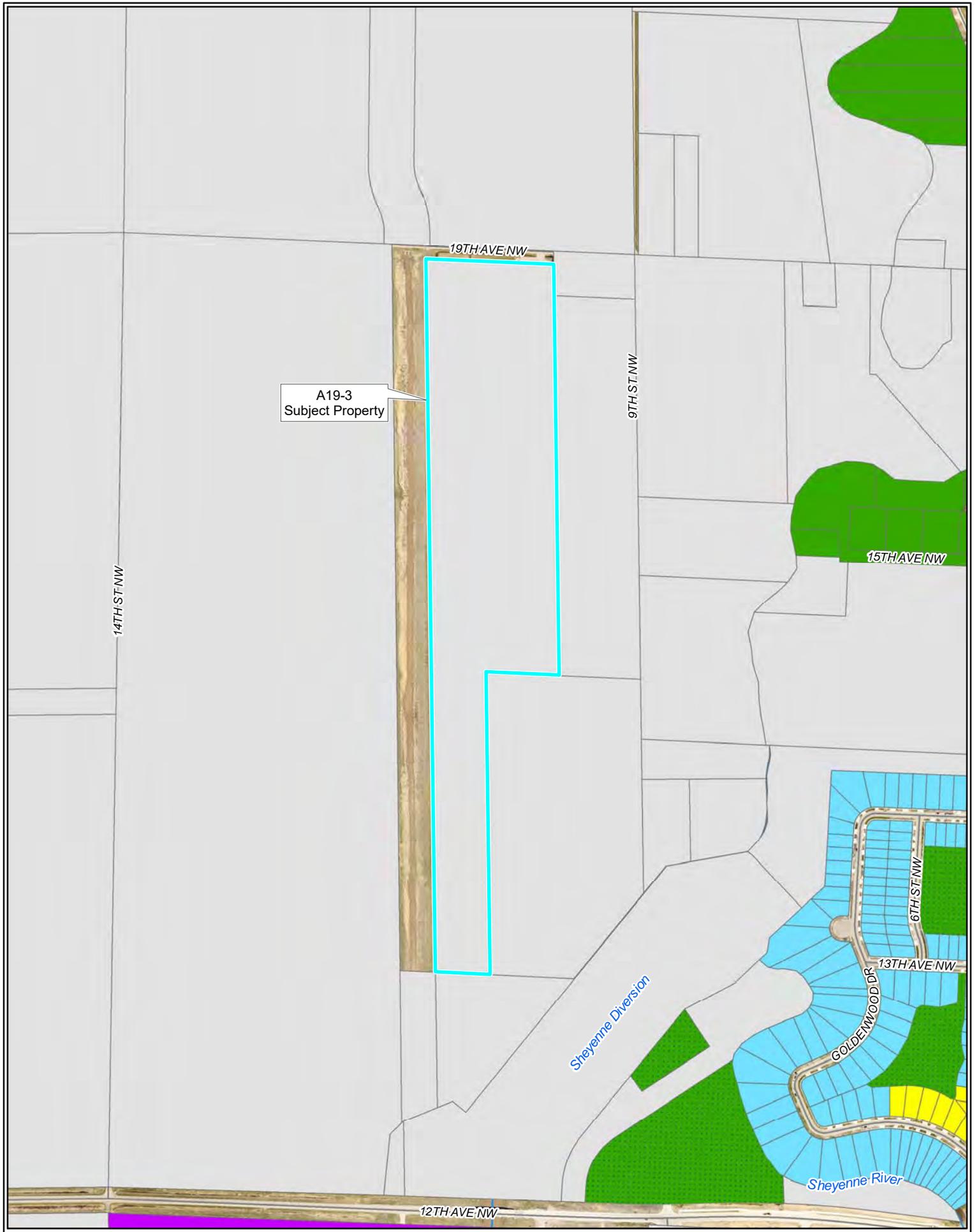
PLANNING AND ZONING RECOMMENDATION:

At their February 12, 2019 meeting, the Planning and Zoning Commission recommended approval of the conditional use permit, subject to the condition listed above.



A19-3
Subject Property



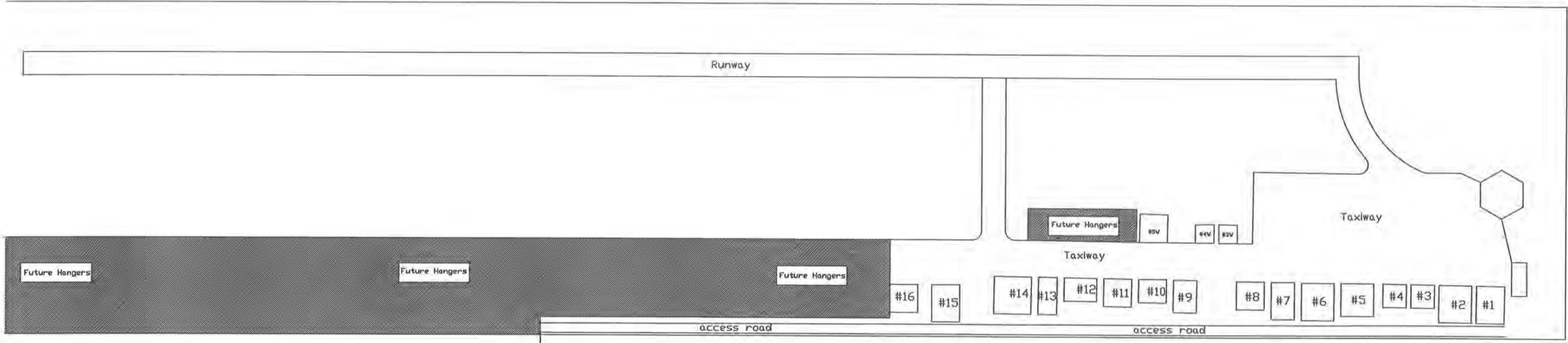


A19-3
Subject Property



A: Agricultural	LI: Light Industrial	R-1: One and Two Family	R-1S: Special One and Two Family	R-4: Mobile Home
C: Light Commercial	M: Heavy Industrial	R-1A: Single Family	R-1SM: Mixed One and Two Family	R-5: Manufactured Home
C-OP: Commercial Office Park	P: Public	R-1B: Special Single Family	R-2: Limited Multiple Dwelling	R-L1A: Large Lot Single Family
HC: Heavy Commercial	PUD: Planned Unit Development	R-1E: Rural Estate	R-3: Multiple Dwelling	R-R: Rural Residential





West Fargo Municipal Airport
Interim Airport Layout Plan
January 2019

Regular Agenda Item #7

May 14, 2019

Commission President, Bernie Dardis
West Fargo City Hall
800 4th Avenue E
West Fargo, ND 58078



Dear Commission President Dardis,

I am writing to you regarding the future development of the West Fargo Park District's Beaton Farm property located at 408 and 320 19th Avenue West, or lots 63 and 64 in Block Two of Elmwood Court Addition. The Park District's goal is to replat and rezone lots 63 and 64 from Public Facilities to Planned Unit Development for future sale to a developer for development.

Both properties were acquired in 2002; lot 64 was received by the Park District through the Public Dedication process and lot 63 was purchased by the Park District. The original intent was to develop the 5.11 acres into a park site. However, less than a year later the City's growth began to soar and the Park District quickly realized the urgent need for additional storage for equipment and a maintenance/operations site. The City of West Fargo also stored equipment at the site for a period of time. In 2004, the neighborhood around the Beaton Farm began to develop and a bike trail was installed on lot 63 which provided a completed connection from 19th Avenue through South Elmwood Park to 13th Avenue.

The Park Board has discussed at length the future use of the Beaton Farm property. We recognize that green space provides an essential element for a vibrant community. The growth of the Park District today presents a completely changed dynamic; before 2002 we maintained 125 acres and today we retain over 535 acres. The Park Board has considered the following concerns:

- 1) The current status of lot 64 as a maintenance and storage facility was terminated in 2018. The Sheyenne Street access to the site was eliminated as it was proven difficult and unsafe access because of the heavy traffic flows.
- 2) As Sheyenne Street has become busier, the worksite offered a highly visible view of operations which was not desired with added concern for safety.
- 3) Considering the use of the site for future park events & public use presents parking concerns. Adding a minimum of 100 parking spaces would produce heavy traffic for the neighborhood and the cost could exceed \$250,000. Many of our WF Park events exceed 1,000 people per event.
- 4) The growth and the development of this area has substantially increased property values at the corner of 19th Ave. W. & Sheyenne St. Under the current ownership by the Park District, the City receives no property tax revenues from this site. The Park District must consider not only the neighborhood but the entire community as well for what is fiscally responsible.
- 5) South Elmwood Park, shares a border with the Beaton Farm, and it offers 64 acres of property for a multitude of public use. Funds from the sale of a portion of lot 63 and 64 will allow for other recreational amenities to be reinvested into South Elmwood Park. (As shown on the attached map.) The map demonstrates that property to be sold on lot 63 can also be developed in the current South Elmwood space. Additionally, the Park District will also be able to use funds for several projects around the Park District and avoid bonding or assessing additional funds.
- 6) The Sheyenne St. special assessments for this property will reach over \$60,000 in 2020. As a Park District property, the specials will be spread back to the tax payer of West Fargo, however, the sale of the property will move the specials to the future owner.

Planning & Zoning Commission denied the Park District's application on March 12th based on a "lack of information provided". We did not feel the Commission fully grasped the understanding that the Park District has only a desire to sell this property and not develop it. To date, we have not advertised the site for sale or received proposals from potential buyers. An appraisal was performed last fall which values the land at \$4-6 per square foot. Upon sale of the site the Park Board desires low density residential development.

Prior to the March 12th Planning & Zoning meeting, 45 letters were sent out by the Planning Department. Five households were represented. On April 24th & May 1, the Park District held two neighborhood meetings. At the request of a Beaton Farm neighbor, additional household notices were sent out covering a larger area. Therefore, 90 meeting flyers were sent surrounding the site. Seventeen residences were represented between the two meetings. The Park Board also heard a follow up report on May 8th along with further public comment. Following the discussion, the Park Board motioned the following:

1. Park District requests to appear at the May 20th City Commission Meeting with application to replat, rezone and create a PUD of lots 63 and 64 of Block Two of Elmwood Court Addition,
2. specify residential development on lot 63 and 64 with no apartments and
3. to create an easement on lot 63 (62' surveyed), on western border, for purpose of a bike trail, which presently exists.

In conclusion, the West Fargo Park District has taken a careful and critical approach in considering the future of the 5.11 acres of lots 63 & 64 and its appropriate fit in the community of West Fargo. We have received public feedback from property neighbors and other WF residents who have expressed opinions and thoughts on both sides of the issue. The overall substantial growth of the City has greatly impacted and changed the Park District's vision for this site. It is our hope that the West Fargo City Commission will consider the application request for replatting and rezoning by the West Fargo Park District as a move in the right direction for the entirety of the City of West Fargo. If you have any questions, please feel free to contact me or a Park Board member. Thank you for considering our application.

Sincerely,

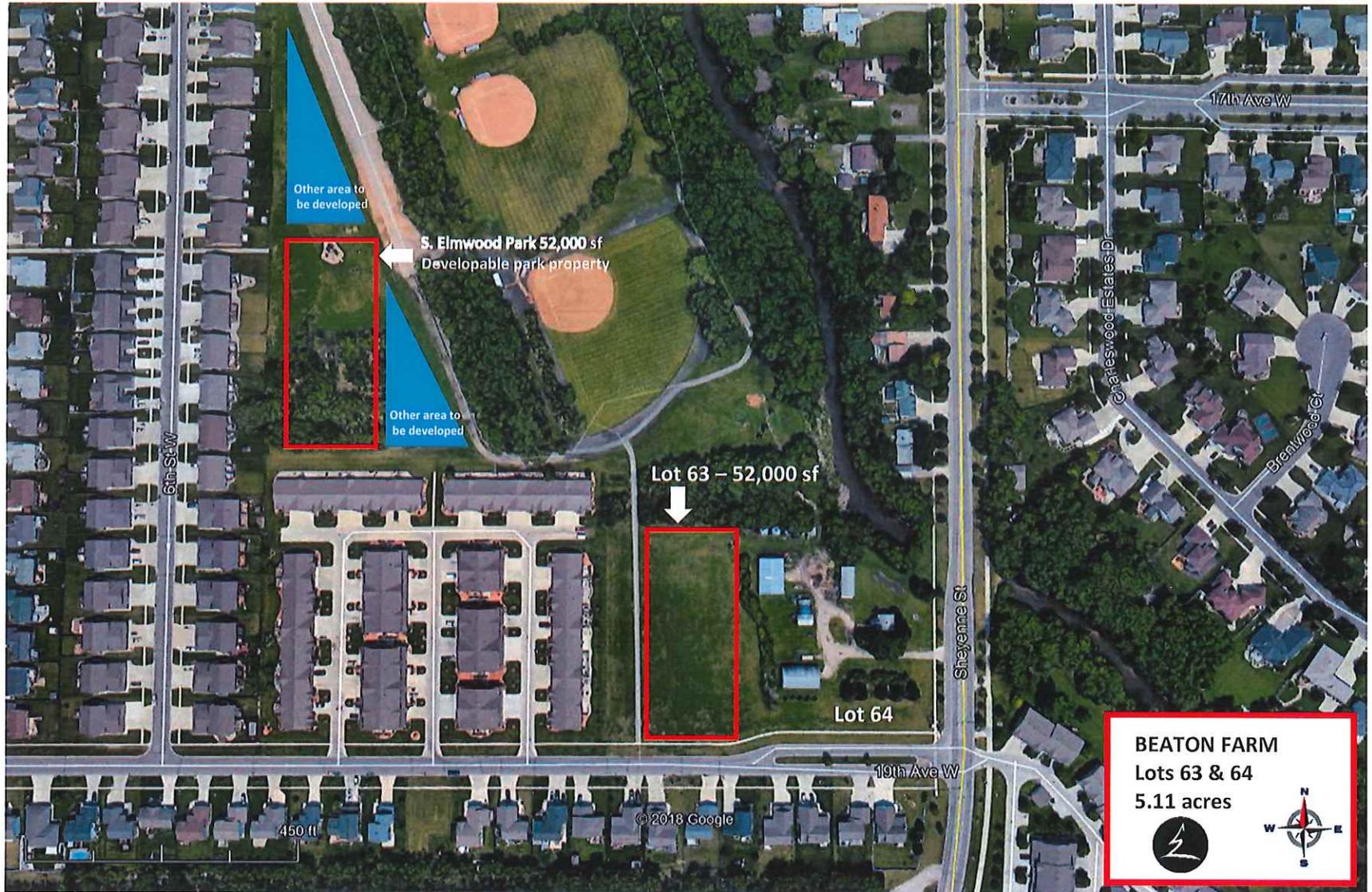


Barb Erbstoesser
Executive Director
West Fargo Park District

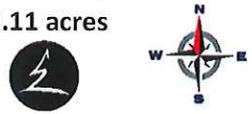
c.c.

Commissioner Eric Gjerdevig
Commissioner Mark Simmons
WF City Administrator Tina Fisk

Commissioner Brad Olson
Commissioner Mike Thorstad
WF Senior Planner, Tim Solberg



BEATON FARM
Lots 63 & 64
5.11 acres



A north arrow pointing upwards and a circular logo containing a stylized lightning bolt symbol.

CITY OF WEST FARGO PLANNING AND COMMUNITY DEVELOPMENT

STAFF REPORT

A19-12		REPLAT AND REZONING	
Elmwood Court 4 th Addition			
408 and 320 19 th Avenue West (Lots 63 & 64, Block 2 of Elmwood Court Addition)			
Owner/Applicant: West Fargo Park District		Staff Contact: Tim Solberg, AICP	
Planning & Zoning Commission Introduction:		03-12-2019	
Public Hearing:		03-12-2019	
Detailed Development Plans:			
City Commission Introduction:			
Public Hearing & 1 st Reading:			
2 nd Reading and Final Plat Approval:			

PURPOSE:

Replat and Rezone for sale and development

STATEMENTS OF FACT:

Land Use Classification:	G-2 Sub-Urban-Growth Sector
Existing Land Use:	Park District Storage and Multi-Use Path
Current Zoning District(s):	P: Public Facilities
Zoning Overlay District(s):	CO: Corridor Overlay District
Proposed Zoning District(s):	PUD: Planned Unit Development and P: Public Facilities
Proposed Lot size(s) or range:	29,277 & 193,265 ft ²
Total area size:	5.09 Acres
Adjacent Zoning Districts:	North – R-1A: Single Family Dwellings & P Public Facilities South – R-1: One & Two Family Dwellings East & West – PUD: Planned Unit Development (Residential)
Adjacent street(s):	Sheyenne Street (Minor Arterial); 19 th Avenue W (Local)
Adjacent Bike/Pedestrian Facilities:	Sidewalks adjacent on Sheyenne Street & 19 th Ave West
Available Parks/Trail Facilities:	Elmwood Park connected by multi-use path
Park Dedication Requirements:	Provided with previous subdivision

DISCUSSION AND OBSERVATIONS:

- The applicant has submitted an application, preliminary plat and area plan. The concept is simply to begin the process of rezoning to a Planned Unit Development (PUD) to begin a departure from it being used for Park facilities.
- The property was platted in 2002. Lot 64, Block 2 was dedicated and platted as Park, Lot 63, Block 2 was acquired by the West Fargo Park District and not dedicated on the plat.
- The plat is providing two lots. Lot 1, which includes a multi-use path connecting to South Elmwood Park, would be retained by the Park District.
- The applicant proposes rezoning a portion of the property to PUD, which would allow sale and development. A new lot would continue to provide the existing multi-use path and would remain zoned for Public Facilities owned by the West Fargo Park District.

STAFF REPORT

- A PUD typically at concept phase would provide a concept of what is being proposed. At this time, however it is unknown how this property may develop. If a concept is to be approved, staff would suggest that a PUD Amendment be required in the future to ensure a second public hearing is provided to the neighborhood.
- Lot 64, Block 2 of Elmwood Court Addition is labeled as "PARK" on the recorded plat and provided within the dedication statement as dedicated "TO THE USE OF THE PUBLIC". Proper procedure for the vacation of this will likely be required and consideration by the City Attorney may be required.

NOTICES:

Sent to: Property owners within 150' and applicable agencies and departments.

Comments Received:

- Phone calls and emails have been received with concerns regarding the property being developed near the residential area. All email correspondence received is attached to the staff report. The general concern is that whatever may develop be compatible with the adjacent residential. Some have expressed opposition to the property being developed at all.
- An email response from the Director of the West Fargo Park District is included for reference as a response to some opposition to the application.
- The President of the Board of City Commissioners has suggested that the Park District hold a neighborhood meeting prior to sale and development to help inform the neighborhood and City of the plans for the site.

CONSISTENCY WITH COMPREHENSIVE PLAN AND OTHER APPLICABLE CITY PLANS AND ORDINANCES:

- Development on the site would not be inconsistent with the G-2 Sub-Urban-Growth Sector, however at the time of West Fargo 2.0 there was no discussion of this site redeveloping so it is not mentioned or considered as a developable piece of property.

RECOMMENDATIONS:

It is recommended that the City approve the proposed application in concept on the basis that it is consistent with City plans and ordinances with recommended conditions of approval as follows:

1. Proper procedure for vacating Park land is provided for by the West Fargo Park District.
2. PUD Amendment is required for future development of the proposed Lot 2, Block 1 of Elmwood Court 4th Addition.
3. Concerns of adjacent properties be taken into consideration by applicant as detailed plans are developed.
4. Detailed Development Plans will be subject, but not limited to 4-440 Supplementary District Regulations, 4-450 Off-Street Parking and Loading Requirements, and 4-460 Sign Regulations.



A19-12
Proposed Subdivision



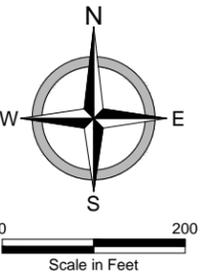
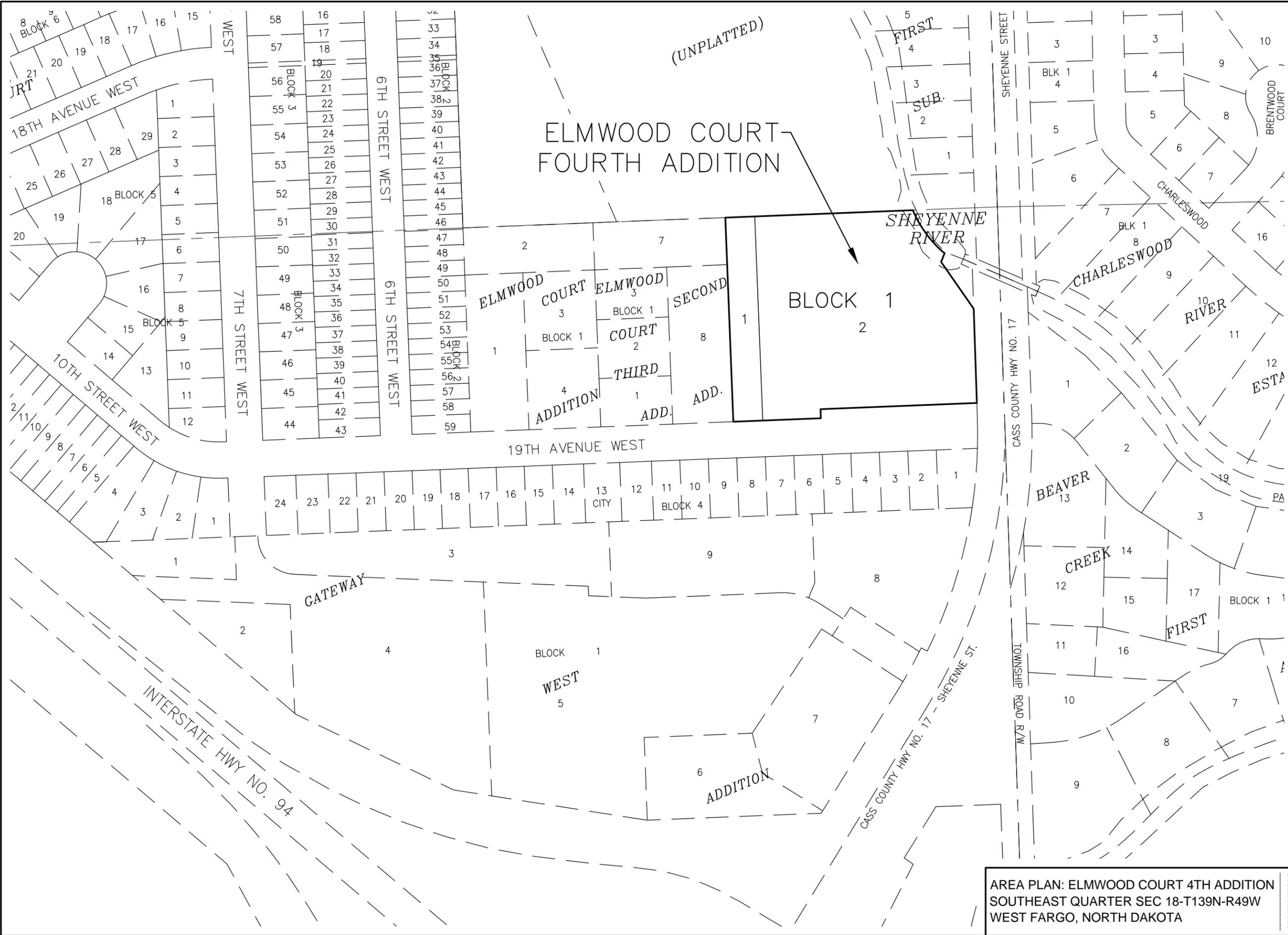


A19-12
Proposed Subdivision



- | | | | | |
|------------------------------|-------------------------------|-----------------------------|----------------------------------|--------------------------------|
| A: Agricultural | LI: Light Industrial | R-1: One and Two Family | R-1S: Special One and Two Family | R-4: Mobile Home |
| C: Light Commercial | M: Heavy Industrial | R-1A: Single Family | R-1SM: Mixed One and Two Family | R-5: Manufactured Home |
| C-OP: Commercial Office Park | P: Public | R-1B: Special Single Family | R-2: Limited Multiple Dwelling | R-L1A: Large Lot Single Family |
| HC: Heavy Commercial | PUD: Planned Unit Development | R-1E: Rural Estate | R-3: Multiple Dwelling | R-R: Rural Residential |



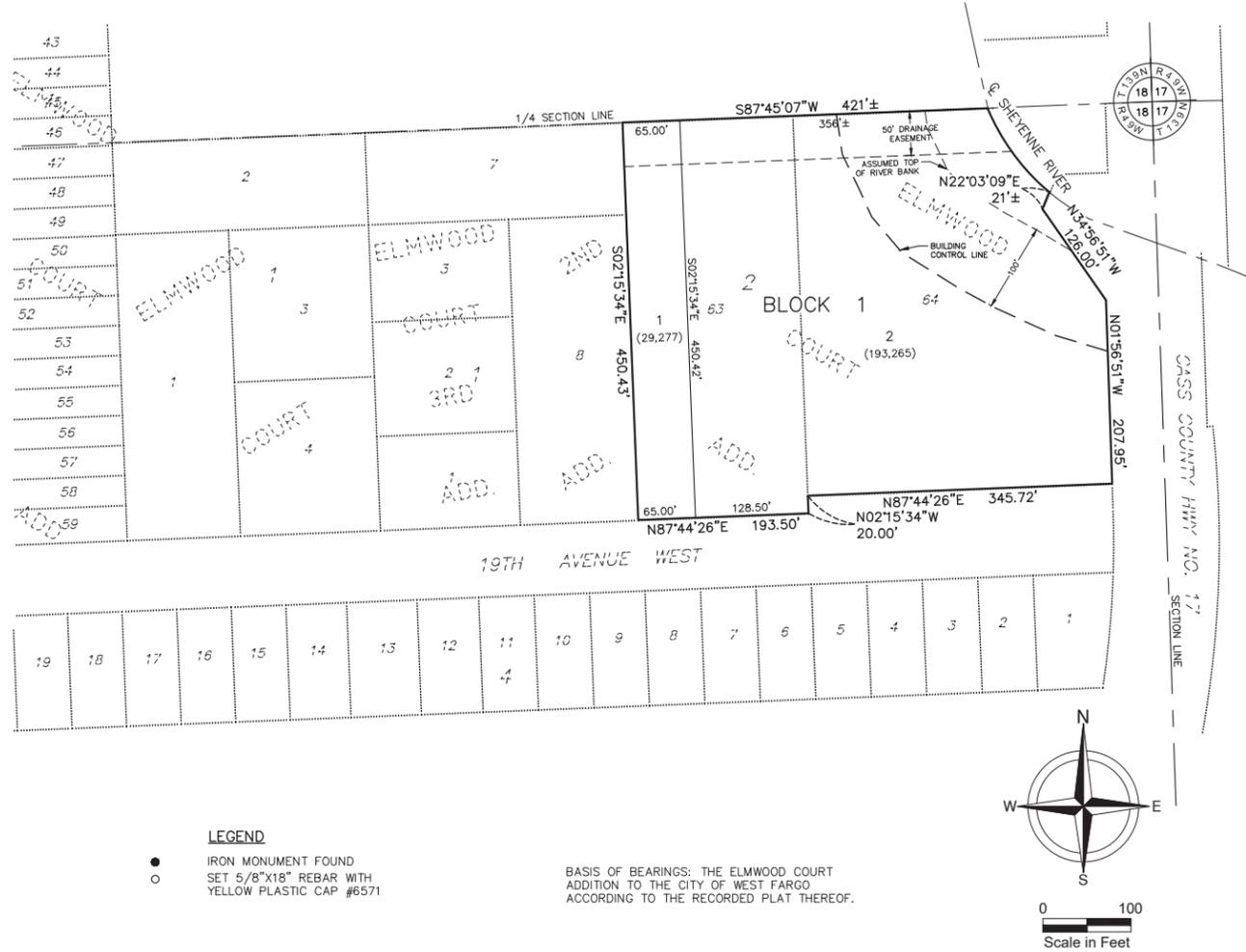


AREA PLAN: ELMWOOD COURT 4TH ADDITION
 SOUTHEAST QUARTER SEC 18-T139N-R49W
 WEST FARGO, NORTH DAKOTA

PROJECT No. 20604
 DATE: 01.10.19
 REVISED:
 DRAFTER: MPL
 REVIEWER: CDH



**PLAT OF
ELMWOOD COURT FOURTH ADDITION
TO THE CITY OF WEST FARGO, A REPLAT OF LOTS 63 AND 64, BLOCK 2, ELMWOOD COURT ADDITION
TO THE CITY OF WEST FARGO, CASS COUNTY, NORTH DAKOTA.**



WEST FARGO CITY ATTORNEY APPROVAL

I HEREBY CERTIFY THAT PROPER EVIDENCE OF TITLE HAS BEEN EXAMINED BY ME AND I APPROVE THE PLAT AS TO FORM AND EXECUTION THIS _____ DAY OF _____, 2019.

JOHN T. SHOCKLEY, CITY ATTORNEY

STATE OF NORTH DAKOTA)
 COUNTY OF CASS)

ON THIS _____ DAY OF _____, 2019, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED JOHN T. SHOCKLEY, CITY ATTORNEY, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS THE CITY ATTORNEY.

NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

CITY ENGINEER'S APPROVAL

THIS PLAT IN THE CITY OF WEST FARGO IS HEREBY APPROVED THIS _____ DAY OF _____, 2019.

DUSTIN T. SCOTT, CITY ENGINEER

STATE OF NORTH DAKOTA)
 COUNTY OF CASS)

ON THIS _____ DAY OF _____, 2019, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED DUSTIN T. SCOTT, CITY ENGINEER, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.

NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

CERTIFICATE

STEVEN W. HOLM, BEING DULY SWORN, DEPOSES AND SAYS THAT HE IS THE REGISTERED LAND SURVEYOR WHO PREPARED AND MADE THE ATTACHED PLAT OF "ELMWOOD COURT FOURTH ADDITION" TO THE CITY OF WEST FARGO, A REPLAT OF LOTS 63 AND 64, BLOCK 2, ELMWOOD COURT ADDITION TO THE CITY OF WEST FARGO, CASS COUNTY, NORTH DAKOTA; THAT SAID PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY THEREOF; THAT ALL DISTANCES ARE CORRECTLY SHOWN ON SAID PLAT; THAT MONUMENTS HAVE BEEN PLACED IN THE GROUND AS INDICATED FOR THE GUIDANCE OF FUTURE SURVEYS AND THAT SAID ADDITION IS DESCRIBED AS FOLLOWS, TO WIT:

ALL OF LOTS 63 AND 64, BLOCK 2, ELMWOOD COURT ADDITION TO THE CITY OF WEST FARGO, ACCORDING TO THE RECORDED PLAT THEREOF ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, CASS COUNTY, NORTH DAKOTA:

SAID TRACT CONTAINS 5.09 ACRES, MORE OR LESS, AND IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS OF WAY OF RECORD, IF ANY.

STEVEN W. HOLM
 REGISTERED LAND SURVEYOR
 REG. NO. LS-6571

STATE OF NORTH DAKOTA)
 COUNTY OF CASS)

ON THIS _____ DAY OF _____, 2019, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED STEVEN W. HOLM, REGISTERED LAND SURVEYOR, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.

NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

DEDICATION

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE LAND DESCRIBED IN THE PLAT OF "ELMWOOD COURT FOURTH ADDITION" TO THE CITY OF WEST FARGO, A REPLAT OF LOTS 63 AND 64, BLOCK 2, ELMWOOD COURT ADDITION TO THE CITY OF WEST FARGO, CASS COUNTY, NORTH DAKOTA; THAT WE HAVE CAUSED IT TO BE PLATTED INTO LOTS AND BLOCKS AS SHOWN BY SAID PLAT AND CERTIFICATE OF STEVEN W. HOLM, REGISTERED LAND SURVEYOR, AND THAT THE DESCRIPTION AS SHOWN IN THE CERTIFICATE OF THE REGISTERED LAND SURVEYOR IS CORRECT. WE HEREBY DEDICATE ALL STREETS, AVENUES, DRIVES, LANES, UTILITY, POND ACCESS AND STORM WATER STORAGE EASEMENTS SHOWN ON SAID PLAT TO THE USE OF THE PUBLIC.

OWNER: WEST FARGO PARK DISTRICT

BARB ERBSTOESSER, DIRECTOR

STATE OF NORTH DAKOTA)
 COUNTY OF CASS)

ON THIS _____ DAY OF _____, 2019, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED BARB ERBSTOESSER, DIRECTOR, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME IN THE NAME OF WEST FARGO PARK DISTRICT.

NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

WEST FARGO PLANNING COMMISSION APPROVAL

THIS PLAT IN THE CITY OF WEST FARGO IS HEREBY APPROVED THIS _____ DAY OF _____, 2019.

TOM MCDUGALL, CHAIRMAN

STATE OF NORTH DAKOTA)
 COUNTY OF CASS)

ON THIS _____ DAY OF _____, 2019, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED TOM MCDUGALL, CHAIRMAN OF THE WEST FARGO PLANNING COMMISSION, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN THE NAME OF THE WEST FARGO PLANNING COMMISSION.

NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

WEST FARGO CITY COMMISSION APPROVAL

THIS PLAT IN THE CITY OF WEST FARGO IS HEREBY APPROVED THIS _____ DAY OF _____, 2019.

BERNIE L. DARDIS, PRESIDENT OF
 THE WEST FARGO CITY COMMISSION

TINA FISK, CITY AUDITOR

STATE OF NORTH DAKOTA)
 COUNTY OF CASS)

ON THIS _____ DAY OF _____, 2019, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED BERNIE L. DARDIS, PRESIDENT OF THE WEST FARGO CITY COMMISSION, AND TINA FISK, CITY AUDITOR, KNOWN TO ME TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THE NAME OF THE CITY OF WEST FARGO.

NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

From: [Wayne Westphal](#)
To: [Tim P. Solberg](#)
Subject: rezoning
Date: Monday, February 25, 2019 12:37:40 PM

Lots 63 and 64, Block 2 of Elmwood Court Addition, city of West Fargo wants to change the zoning from P: Public Facilities to PUD: Planned Unit Development at 408 and 320 19th Avenue East.

I feel the West Fargo Park District should wait and do a lengthy study how they could use that land. At this time I feel not enough answers to questions about this rezoning is clear. I am not in favor of rezoning without a clear path for use. I am not in favor to any commercial use.

If any questions or suggestions, please get in touch. westphalwayne@yahoo.com cell 701-230-9932 or at 448-F 19th Av West West Fargo,ND 58078

Wayne Westphal

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From: [Dave Larson](#)
To: [Tim P. Solberg](#)
Subject: RE: Memorandum dated 2-20-19
Date: Tuesday, February 26, 2019 8:29:37 AM

I have been at 1632 Sheyenne St. since 1969.

My feeling is that with all the commercial (Hornbacher's etc.) the area in question should definitely be residential and single family only. A very nice area along the river with easy access in all directions in and out of West Fargo. I cannot imagine anyone living in that area presently would approve any more commercial. I also think the planning and zoning should agree

Thanks,
Dave E Larson
Sales



704 28th St. S.
Fargo, ND 58103
701-298-3725
www.slcomp.com

From: Tim P. Solberg [mailto:Tim.Solberg@westfargond.gov]
Sent: Monday, February 25, 2019 1:12 PM
To: Dave Larson
Subject: RE: Memorandum dated 2-20-19

Thanks Dave,

Yes, this is Park Board property and they are trying to market it for sale. The current zoning limits them to pretty limited public uses. They are looking at allowing another use, but have not yet identified this. The Planned Unit Development (PUD) would require future detailed plans be reviewed and approved by the City Commission prior to them developing – this would include notifying the neighborhood again and holding a public hearing again as well. At this point, they don't have a buyer or plans, but if you have any comments good or bad we'd appreciate them and would provide them to the Park District and the City Planning Commission and City Commission to consider before review.

Tim Solberg, AICP
Director of Planning and Zoning - City of West Fargo
800 4th Ave E - West Fargo, ND 58078
701-433-5321 (direct) - 701-388-4925 (mobile)

Have you seen our new interactive GIS App?

Check it out here: <http://map.westfargond.gov/TaxParcels/>

From: Dave Larson [mailto:Davel@slcomp.com]
Sent: Monday, February 25, 2019 12:02 PM
To: Tim P. Solberg <Tim.Solberg@westfargond.gov>
Subject: RE: Memorandum dated 2-20-19

Thanks for the prompt reply Tim.

Yes, I did get the maps and know where you are talking about. Is this Park Board property they are selling?

Will it be residential?

Thanks,
Dave E Larson
Sales



704 28th St. S.
Fargo, ND 58103
701-298-3725
www.slcomp.com

From: Tim P. Solberg [mailto:Tim.Solberg@westfargond.gov]
Sent: Monday, February 25, 2019 11:48 AM
To: Dave Larson
Cc: barb erbstoesser; Lisa A. Sankey
Subject: RE: Memorandum dated 2-20-19

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

Hi Dave,

It is the two lots highlighted in the maps which is attached. Did the maps not come with your letter? I apologize if the address was stated as "East" – it should be "West".

Tim Solberg, AICP
Director of Planning and Zoning - City of West Fargo
800 4th Ave E - West Fargo, ND 58078
701-433-5321 (direct) - 701-388-4925 (mobile)

Have you seen our new interactive GIS App?

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From: Dave Larson [<mailto:Davel@slcomp.com>]
Sent: Monday, February 25, 2019 11:41 AM
To: Tim P. Solberg <Tim.Solberg@westfargond.gov>
Subject: FW: Memorandum dated 2-20-19

From: Dave Larson
Sent: Monday, February 25, 2019 9:24 AM
To: 'tim.solberg@westfargond.cog'
Subject: Memorandum dated 2-20-19

We received your letter regarding Rezoning and am quite confused. I cannot find 408 & 320 19th Ave **East** (lots 63 & 64, block 2 of Elmwood Court Addition) on any of the pages received.

From what I can determine, the area referred to is the west edge of the Park Board property just South of the ball diamonds.

Thanks,
Dave E Larson
Sales



704 28th St. S.
Fargo, ND 58103
701-298-3725
www.slcomp.com

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From: [Katina Behm](#)
To: [Tim P. Solberg](#)
Cc: [Lisa A. Sankey](#); [Bernie L. Dardis](#); [Mike D. Thorstad](#); [Mark A. Simmons](#); [Eric B. Gjerdevig](#); [Brad J. Olson](#)
Subject: Re: Elmwood Court
Date: Tuesday, March 5, 2019 8:15:24 PM

Hi Tim,

Thank you always for your responsiveness.

We are a small community of mostly single family residential homes. Doubling the number of townhomes on this street is inconsistent with the vision for our neighborhood and could destroy it's character. Any zoning change needs to fulfill that vision. I am afraid the increase density would have a negative impact on the value of our homes/neighborhood.

This property is the gateway to our park. Our neighborhood children play on that open field. Every city in the United States understands the importance and need to keep as much open space as possible because it improves the quality of life for it's residents. Taking away open space is just wrong.

I am not anti-development nor do I possess any type of law background but this is common sense. It is over development for our neighborhood. On top of this, we already have Gateway West to the south of us adding to neighborhood noise pollution and traffic.

Will you be sharing the Comprehensive Plan for the neighborhood and what has been designated for open space, in particular this parcel?

Thank you,
Katina Behm

On Tue, Mar 5, 2019 at 8:40 AM Tim P. Solberg <Tim.Solberg@westfargond.gov> wrote:

Hi Katina,

The property is owned by the West Fargo Park District. The Park District is looking at selling off the property because it does not feel they have a need for it. The trail would remain Park District property through a replatting of the lots, but east of the trail they want to change the zoning to allow for development. A Planned Unit Development (PUD) would require that before any development occurs that the City would approve whatever it may be, which would include another public hearing in the future once it would sell. Right now, I do not know of anyone who is looking at purchasing and developing the land.

I hope this helps. I expect our Commissioners will have lots of questions for the Park District. If you have any specific concerns please let me know either in writing or by attending the Public Hearing.

Thank you,

Tim Solberg, AICP

Director of Planning and Zoning - City of West Fargo

800 4th Ave E - West Fargo, ND 58078

701-433-5321 (direct) - 701-388-4925 (mobile)

Have you seen our new interactive GIS App?

Check it out here: <http://map.westfargond.gov/TaxParcels/>

From: Katina Behm [mailto:kkpolites@gmail.com]

Sent: Monday, March 4, 2019 8:25 PM

To: Tim P. Solberg <Tim.Solberg@westfargond.gov>

Cc: Dustin T. Scott <DScott@mooreengineeringinc.com>; Lisa A. Sankey <Lisa.Sankey@westfargond.gov>; Chris L. Brungardt <Chris.Brungardt@westfargond.gov>

Subject: Re: Gateway West

Hello Tim,

I received the letter from the city regarding the plans for the green space across the street from my house (19th Ave West). I am hoping to make the meeting but it's not a guarantee.

Because of this, I wanted to take this opportunity to ask a couple questions.

1. Who currently owns this property? Is it still the city?
2. What specifically in the zoning ordinance is the builder requesting be changed in order for them to proceed with this project?

From: [barb erbstoesser](#)
To: [Todd Rheault](#); [Jeff McCracken](#); [Ken Zetocha](#); [Chris Heise](#); [Jake Lauritsen](#)
Cc: [Justin Germundson](#); [Tim P. Solberg](#)
Subject: Beaton Farm
Date: Tuesday, February 26, 2019 4:10:38 PM
Attachments: [application.pdf](#)
[plat.pdf](#)
[Elmwood.pdf](#)

Greetings Board Members,

The letter of notice regarding the replat, PUD and rezoning of the Beaton Farm property was sent out to surrounding homeowners late last week by WF Planning and Zoning. A total of letters were sent out to those residing within 150' from the property. Tim Solberg, Senior Planner for the City of West Fargo, has been fielding a few calls and emails of people who are not pleased with the potential replat and sale of the 2 lots (w-63 & e-64). Many of the remarks seem to relate back to the "heartburn" of the Hornbacher's store and development located to the west as there was opposition to this development 2 years ago, hence today is nearly open for business. I felt the need to give you a heads up that you may be getting or may have already gotten public comment as well. A public hearing on the replat will be held by WF Planning and Zoning Commission on March 12 at City Hall at 5:30 p.m. I suspect there will be a crowd at this meeting and again at the City Commission meeting (date TBD).

I have heard the following comment from approximately 5 people, comments such as:

- 1) "My home value will drop \$10k".
- 2) "No commercial, single family only".
- 3) "The Park District should conduct a lengthy study on what to do with the property".
- 4) "Selling park land should be voted on by the public".
- 5) "We will give up access to the park".
- 6) "I will miss watching children play in the park".
- 7) "I miss the Strawberry Farm and that was so popular, the Park District should grow strawberries on the property".
- 8) "Everyone in my development is mad about this and will protest", *from homeowner of twin homes to the west of lot 63.*

Some of my replies to residents...

- ACCESS. Our access to this property is extremely limited and has greatly diminished since the development of Sheyenne Street. If the Park District developed an attraction or amenity on the property we would have limited parking and little to no access to handle the traffic or large crowds that typically attend our events. Lot 64 of the Farm never allowed for public use and was a working site. Lot 63 contains a bike path connection from 19th Ave to South Elmwood Park, 62' of this area containing the path will continue to be owned and maintained by the Park District.
- PROGRESSIVE. Since the Park District acquired this property in 2002, the City of West Fargo has grown and changed exponentially. The Beaton Farm property, as it sits on the corner of 19th Avenue and Sheyenne Street, is a thriving area with the addition of Beaver Creek, Elmwood Court, the Hornbacher's properties, Sheyenne Crossing, the expansion of the I-94 interchange, the redevelopment of Sheyenne Street and the entire development of the area

south of I-94, all of which did not exist in 2002.

- SPECIALS. The Park District will be responsible for an estimated \$65,000 of new specials on these 2 parcels, beginning in 2020, because of the Sheyenne Street development. Without the sale of these 2 parcels, these specials will be levied back to the homeowners of West Fargo.
- NEIGHBORS & NEIGHBORHOOD. The West Fargo Park District has a vested interest in who this property sells to and what will be built there as Elmwood Park is a neighbor to it as well.
- WHAT'S BEST FOR ALL. The Park District has analyzed future use of the Beaton Farm property and our vision is broad, however, we must take into account the image for the City of West Fargo and how this piece of property would and should effectively function for the community as a whole.
- FISCAL. Dollars from the future sale of this property are considered valuable by allowing for Park District-wide improvements which otherwise the Park District would be required to bond, borrow dollars or go without the improvement.
- BUFFER. The Beaton Farm property contained two parcels. Lot 63 contains the bike path and this will stay within the 62' buffer of property and lot 64 located along Sheyenne Street we will have the ability to keep some of the trees to the north and maintain drainage to the north.
- RIGHT TO SELL PROPERTY. How does the Park District have the right to sell property without a vote of the public? I reminded this person that the Park Commissioners, that they elected, have the authority buy and sell land according to *ND Century Code 40-49-12. Powers of the board of park commissioners.*
- THE FUTURE. The use and location of the Beaton Farm for Park District maintenance storage, green house operations & landscape recycling has out grown this now highly visible corner. Currently we are considering other locations for this type of operation for the Park District. One which will allow for more efficient & better organized storage/operations space, safer access, a space that can be secured, a controlled space which protects the safety of our patrons and a space which allows for daily function with aesthetics in mind.
- PROXIMITY TO PARK PROPERTY. The West Fargo Park District owns and maintains 67.85 acres of property in North and South Elmwood Park. The location of a regional park and other park areas in their neighborhood far exceeds the NRPA Standards and Level of Service for park facilities in relation to a neighborhood. The Beaton Farm property totals 4.87 acres.

I would welcome any individual feedback from you if you have further comments. Also, please keep notes (if possible) of comments that you receive. I would be happy to further discuss this with anyone of you or the public.

Attachments

- a. Application submitted to WF Planning on February 15 for the PUD, Rezoning and Subdivision Replat.
- b. The letter sent to homeowners
- c. Copy of plat

Barb Erbstoesser
Executive Director

AGENDA ITEM DESCRIPTION
CITY COMMISSION
WEST FARGO, NORTH DAKOTA

Agenda # 8

***Please Note: The following information must be completed and submitted to the West Fargo City Auditor's Office by the Thursday noon preceding the City Commission meeting. Failure to comply may result in no action being taken on your request.

1. CONTACT PERSON: Tim Solberg

2. PHONE NUMBER: 433-5321 DATE: May 16, 2019

3. PLEASE **BRIEFLY** DESCRIBE YOUR REQUEST:
Eagle Run Plaza 7th Addition, a Retracement Plat

4. SITE ADDRESS OR LEGAL DESCRIPTION (if applicable):
Lots 2-3, Block 1 of Eagle Run Plaza 1st Addition, City of West Fargo, North Dakota.

5. ACTION BEING REQUESTED FROM CITY COMMISSION:
Final Plat Approval subject to conditions listed in the staff report.

STAFF REPORT

A18-42		Combination/Retracement Plat	
Eagle Run Plaza 7			
Lots 2-3, Block 1 of Eagle Run Plaza 1 st Addition			
Applicant/Owner: WF Holdings Inc.		Staff Contact: Tim Solberg, AICP	
Planning & Zoning Commission:		10-09-2018 - Approved	
City Commission:			

PURPOSE:

Combination of two existing platted lots into one.

STATEMENTS OF FACT:

Land Use Classification:	G-4A: Core Retrofit Growth Area
Existing Land Use:	Vacant/Previous Auto Sales Lot
Current Zoning District(s):	PUD: Planned Unit Development
Zoning Overlay District(s):	CO: Corridor Overlay District (32 nd Avenue West)
Proposed Lot size(s) or range:	73,084 ft ²
Total area size:	8.22 Acres
Adjacent Zoning Districts:	PUD: Planned Unit Development
Adjacent street(s):	6 th Street West (Local); 32 nd Avenue West (Arterial)
Adjacent Bike/Pedestrian Facilities:	Sidewalk along 6 th Street West; Multi-Use Path along 32 nd Avenue West
Available Parks/Trail Facilities:	Rendezvous Park Facility accessible within ½ mile by sidewalks and path

DISCUSSION AND OBSERVATIONS:

- The applicant is proposing to combine two previously subdivided lots into one to construct a commercial property.
- Property owners wishing to combine properties which have been previously platted for the purpose of building across lot lines and/or increasing lot area to address district requirements may submit a retracement plat provided the following conditions are met:
 1. No additional right-of-way is required or being established.
 2. There is no proposed or perceived need of public improvements as a result of the combining of platted lots.
 3. Lots to be combined are contiguous and under common ownership.
- The proposed retracement plat will not affect the property or use. The retracement plat will be given a subdivision name with a lot and block number, which will be of benefit to the City and Cass County for administration purposes.
- With retracement plats there are no street right-of-way dedication or park dedication requirements.
- A public hearing is not required, though the applicant must plat the property according to platting standards and the plat must be reviewed by the Planning and Zoning and City Commissions.

STAFF REPORT

NOTICES:

Sent to: Applicable agencies and departments

Comments Received:

- None

CONSISTENCY WITH COMPREHENSIVE PLAN AND OTHER APPLICABLE CITY PLANS AND ORDINANCES:

- The proposed application is consistent with the City plans and ordinances.

RECOMMENDATIONS:

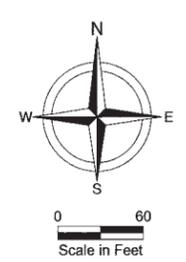
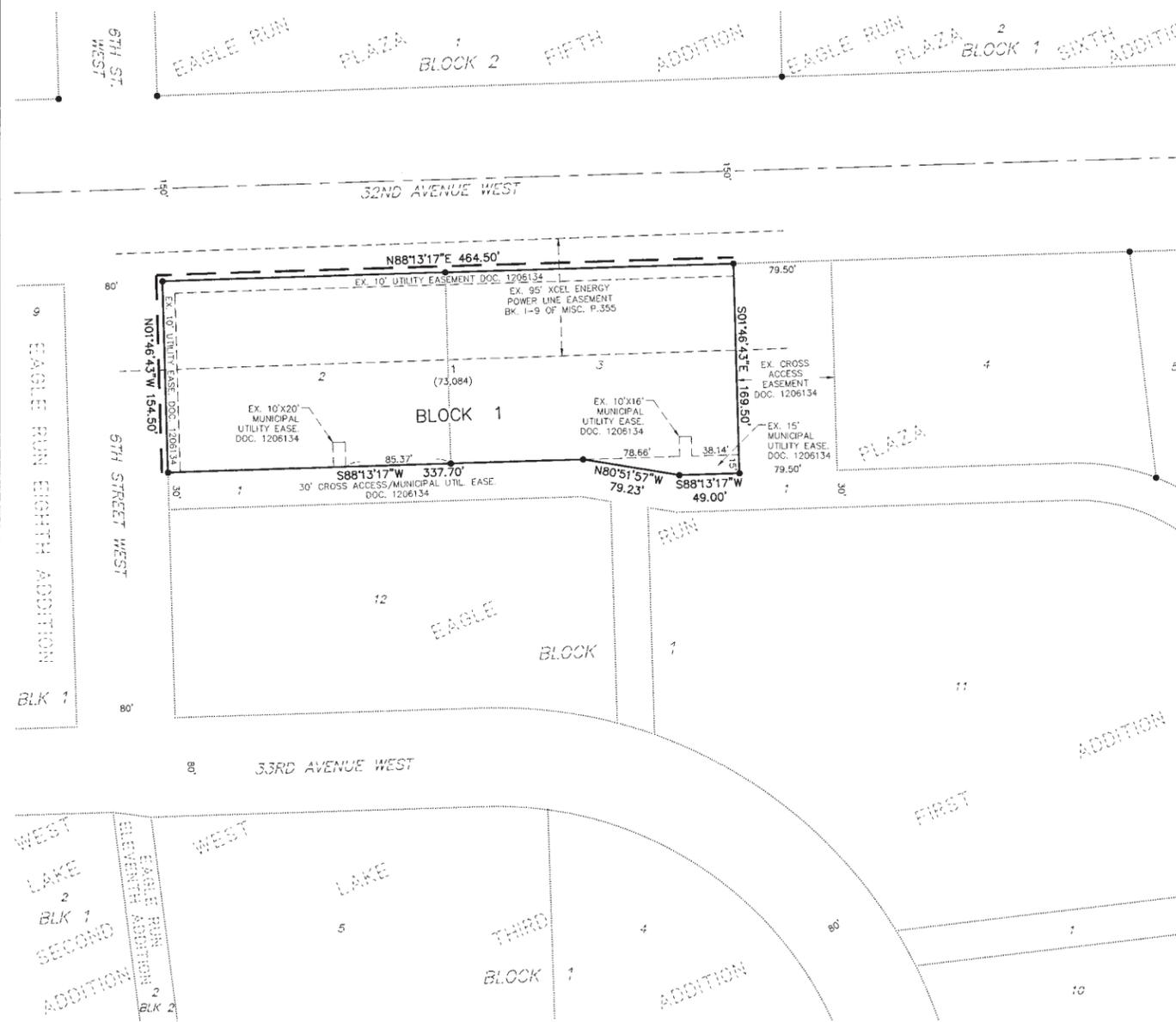
It is recommended that the City approve the proposed application on the basis that it is consistent with City plans and ordinances with recommended conditions of approval as follows:

1. An Attorney Title Opinion to the City of West Fargo is received.
2. Signed Final Plat is received with any necessary easements.
3. A certificate is received showing taxes are current.

PLANNING AND ZONING RECOMMENDATION:

At their October 9, 2018 meeting, the Planning and Zoning Commission recommended approval of the retracement plat, subject to the three conditions listed above.

**PLAT OF
EAGLE RUN PLAZA SEVENTH ADDITION
TO THE CITY OF WEST FARGO, A REPLAT OF LOTS 2 AND 3, BLOCK 1,
EAGLE RUN PLAZA FIRST ADDITION TO THE CITY OF WEST FARGO,
CASS COUNTY, NORTH DAKOTA**



BASIS OF BEARINGS:
EAGLE RUN PLAZA FIRST ADDITION TO THE CITY OF WEST FARGO ACCORDING TO THE RECORDED PLAT THEREOF.

EASEMENTS OF RECORD:
1. CASS RURAL WATER USERS INC. BOOK A-7 OF MISC. PAGES 561-563.
2. AMENDED AND RESTATED USE RESTRICTION AND EASEMENT AGREEMENT, DOC. NO. 1421010.

LEGEND

- IRON MONUMENT FOUND
- SET 5/8"x18" REBAR WITH YELLOW PLASTIC CAP #6571
- (73,084) LOT AREA IN SQ. FT.
- ACCESS CONTROL

CERTIFICATE

STEVEN W. HOLM, BEING DULY SWORN, DEPOSES AND SAYS THAT HE IS THE REGISTERED LAND SURVEYOR WHO PREPARED AND MADE THE ATTACHED PLAT OF "EAGLE RUN PLAZA SEVENTH ADDITION" TO THE CITY OF WEST FARGO, A REPLAT OF LOTS 2 AND 3, BLOCK 1, EAGLE RUN PLAZA FIRST ADDITION TO THE CITY OF WEST FARGO, CASS COUNTY, NORTH DAKOTA; THAT SAID PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY THEREOF; THAT ALL DISTANCES ARE CORRECTLY SHOWN ON SAID PLAT; THAT MONUMENTS HAVE BEEN PLACED IN THE GROUND AS INDICATED FOR THE GUIDANCE OF FUTURE SURVEYS AND THAT SAID ADDITION IS DESCRIBED AS FOLLOWS, TO WIT:

LOTS 2 AND 3, BLOCK 1, EAGLE RUN PLAZA FIRST ADDITION TO THE CITY OF WEST FARGO, ACCORDING TO THE RECORDED PLAT THEREOF, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, CASS COUNTY, NORTH DAKOTA.

SAID TRACT CONTAINS 73,084 SQUARE FEET, MORE OR LESS, AND IS SUBJECT TO ALL EASEMENTS, RESERVATIONS, RESTRICTIONS AND RIGHTS OF WAY OF RECORD, IF ANY.

ON THIS 13th DAY OF November, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED STEVEN W. HOLM, REGISTERED LAND SURVEYOR, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.

Steven W. Holm
STEVEN W. HOLM
REGISTERED LAND SURVEYOR
REG. NO. LS-6571

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 13th DAY OF November, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED STEVEN W. HOLM, REGISTERED LAND SURVEYOR, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.



ON THIS 13th DAY OF November, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED STEVEN W. HOLM, REGISTERED LAND SURVEYOR, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.

Brenda Jo Koski
BRENDA JO KOSKI
Notary Public
State of North Dakota
My Commission Expires May 9, 2022

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

DEDICATION

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE LAND DESCRIBED IN THE PLAT OF "EAGLE RUN PLAZA SEVENTH ADDITION" TO THE CITY OF WEST FARGO, A REPLAT OF LOTS 2 AND 3, BLOCK 1, EAGLE RUN PLAZA FIRST ADDITION TO THE CITY OF WEST FARGO, CASS COUNTY, NORTH DAKOTA; THAT WE HAVE CAUSED IT TO BE PLATTED INTO LOTS AND BLOCKS AS SHOWN BY SAID PLAT AND CERTIFICATE OF STEVEN W. HOLM, REGISTERED LAND SURVEYOR, AND THAT THE DESCRIPTION AS SHOWN IN THE CERTIFICATE OF THE REGISTERED LAND SURVEYOR IS CORRECT.

OWNER: WF HOLDINGS INC.

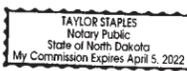
BY: *[Signature]*
TITLE: *[Title]*

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 13 DAY OF May, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED [Name], KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME IN THE NAME OF WF HOLDINGS INC.

Taylor Staples
NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

MORTGAGEE: BLACKRIDGEBANK



BY: *[Signature]*
TITLE: *[Title]*

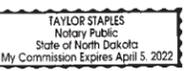
STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 13 DAY OF May, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED [Name], KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME IN THE NAME OF BLACKRIDGEBANK.

Taylor Staples
NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

CITY ENGINEER'S APPROVAL

THIS PLAT IN THE CITY OF WEST FARGO IS HEREBY APPROVED THIS _____ DAY OF _____, 2018.



DUSTIN T. SCOTT, CITY ENGINEER

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS _____ DAY OF _____, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED DUSTIN T. SCOTT, CITY ENGINEER, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.



NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

WEST FARGO PLANNING COMMISSION APPROVAL

THIS PLAT IN THE CITY OF WEST FARGO IS HEREBY APPROVED THIS _____ DAY OF _____, 2018.

TOM MCDUGALL, CHAIRMAN
STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS _____ DAY OF _____, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED TOM MCDUGALL, CHAIRMAN OF THE WEST FARGO PLANNING COMMISSION, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN THE NAME OF THE WEST FARGO PLANNING COMMISSION.

NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

WEST FARGO CITY COMMISSION APPROVAL

THIS PLAT IN THE CITY OF WEST FARGO IS HEREBY APPROVED THIS _____ DAY OF _____, 2018.

BERNIE L. DARDIS, PRESIDENT OF THE WEST FARGO CITY COMMISSION
TINA FISK, CITY AUDITOR
STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS _____ DAY OF _____, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED BERNIE L. DARDIS, PRESIDENT OF THE WEST FARGO CITY COMMISSION AND TINA FISK, CITY AUDITOR, KNOWN TO ME TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THE NAME OF THE CITY OF WEST FARGO.

NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

WEST FARGO CITY ATTORNEY APPROVAL

I HEREBY CERTIFY THAT PROPER EVIDENCE OF TITLE HAS BEEN EXAMINED BY ME AND I APPROVE THE PLAT AS TO FORM AND EXECUTION THIS _____ DAY OF _____, 2018.

JOHN T. SHOCKLEY, CITY ATTORNEY
STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS _____ DAY OF _____, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED JOHN T. SHOCKLEY, CITY ATTORNEY, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS THE CITY ATTORNEY.

NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA

ON THIS _____ DAY OF _____, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED JOHN T. SHOCKLEY, CITY ATTORNEY, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS THE CITY ATTORNEY.

NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA



May 15, 2019

WF Holdings LLC
4418 South River Estates Way
West Fargo, ND 58078-1029

RE: Notification of Non-Compliance and Cease and Desist Order

To whom it may concern:

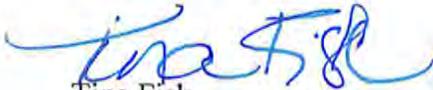
The City has reported to your General Contractor who has taken out a permit to construct Hooligan's at 533 and 509 32nd Avenue West that there are a number of outstanding issues which are required to be completed prior to issuance of a Certificate of Occupancy. A temporary certificate was granted by the City Building Administrator due to weather conditions. This temporary certificate will expire on May 15, 2019. **To date, the requirements to obtain a Certificate of Occupancy have not been met.** They are set forth below:

- A final plat to ensure the new addition is legally conforming to the required overlay district standards has to receive final approval by the City Commission and must be recorded by the Planning Department with the County Recorder's office.
- A landscaping plan shall be submitted for review and once approved it shall be completed on site.
- The parking lot shall have all the accessible parking spaces striped and signed as per the submitted civil site plan.
- The employee restroom shall have the vanity removed and have a wall mounted sink mounted to make the restroom as compliant to the code as possible. This was discussed with FMI and the owner.
- The barrier around the patio area must be installed prior to using the patio for business.
- A partition between the urinals in the men's room is required.
- Concrete around the building as per approved civil site plan.
- Dumpster enclosure must be reviewed, approved and installed.
- Foundation drainage must be completed.
- All other items in the approved Civil Site plan must be completed.
- Excess amount of trash and debris must be cleared from the site.

Without these items completed, the Building Administrator is unable to issue a Certificate of Occupancy and the Planning and Zoning Director will determine your property to be non-compliant resulting in a notice of violation under the terms of Section 4-570 of City Ordinances.

Requirements for City Approvals require that an applicant is in compliance with all ordinance requirements and attached conditions regarding other City approvals that have been granted to the applicant for any matter (Section 1-0107). **We are therefore writing to inform you that you are hereby ordered to cease and desist operation of a liquor establishment on the premises within the City of West Fargo until all items provided in this letter and otherwise required by the Building Administrator are completed to the satisfaction required to obtain a Certificate of Occupancy.**

Sincerely,



Tina Fisk
City Administrator

cc: FMI Construction LLC; Pierre Freeman, West Fargo Code Compliance Officer; John Shockley, West Fargo City Attorney; Tim Solberg, West Fargo Director of Planning and Zoning; Mark Housh, West Fargo Building Administrator

AGENDA ITEM DESCRIPTION
CITY COMMISSION
WEST FARGO, NORTH DAKOTA

Agenda # 9

***Please Note: The following information must be completed and submitted to the West Fargo City Auditor's Office by the Thursday noon preceding the City Commission meeting. Failure to comply may result in no action being taken on your request.

1. CONTACT PERSON: Tim Solberg

2. PHONE NUMBER: 433-5320 DATE: May 15, 2019

3. PLEASE **BRIEFLY** DESCRIBE YOUR REQUEST:

Planned Unit Development Amendment for development of a mixed use building in an approved Planned Unit Development.

4. SITE ADDRESS OR LEGAL DESCRIPTION (if applicable):

320 32nd Avenue West (Lot 8, Block 1 of Eagle Run Plaza 6th Addition), City of West Fargo, North Dakota.

5. ACTION BEING REQUESTED FROM CITY COMMISSION:

Approval subject to conditions listed in the staff report.

CITY OF WEST FARGO PLANNING & COMMUNITY DEVELOPMENT

STAFF REPORT

A19-19		PLANNED UNIT DEVELOPMENT AMENDMENT	
Eagle Run Plaza 6 th Addition			
320 32 nd Avenue West (Lot 8, Block 1 of Eagle Run Plaza 6 th Addition), City of West Fargo, North Dakota			
Applicant/Owner: Sheyenne 32 nd LLC		Staff Contact: Tim Solberg, AICP	
Planning & Zoning Commission Introduction:		05-14-2019	
Public Hearing:		05-14-2019 - Approved	
City Commission Final Plat Approval:		05-20-2019	

PURPOSE:

Development of a mixed use building in an approved Planned Unit Development.

STATEMENTS OF FACT:

Land Use Classification:	G-4A Core Retrofit Growth Area
Existing Land Use:	Vacant
Current Zoning District(s):	PUD: Planned Unit Development
Zoning Overlay District(s):	CO: Corridor Overlay District
Total area size:	32,725 Square Feet
Adjacent Zoning Districts:	North, South & West – PUD: Planned Unit Development (Commercial) East – A: Agricultural
Adjacent street(s):	Sheyenne Street (Arterial); 32 nd Avenue West (Arterial)
Adjacent Bike/Pedestrian Facilities:	Multi-use path along 32 nd Ave W and Sheyenne St.
Available Parks/Trail Facilities:	Proposed park within the development

DISCUSSION AND OBSERVATIONS:

- This area was previously included in a larger rezoning to Planned Unit Development of Eagle Run Plaza 6th Addition. Detailed development plans had not yet been submitted and are required prior to development.
- The applicant has submitted an application, detailed site plan, floor plan and building elevations.
- Applicant intends to construct a 6-story mixed-use building with underground parking, general commercial uses on floors 1 and 2, and residential on floors 3-6.
- The proposed uses would be consistent within the general commercial land use and compatible with surrounding uses. The preliminary site plan provides for the setbacks of the CO: Corridor Overlay district regulations.
- Building materials will be required to meet the building construction requirements of the CO: Corridor Overlay District.
- Parking for this property and others within the PUD is shared between the parking garage and surface parking available within the public lots surrounding the property. With the current site plan and recently approved parking garage, there are a total of 601 available stalls. The applicant is pursuing an agreement with the West Fargo School District to share parking at the hockey arena, which currently has surplus parking available.

STAFF REPORT

- The applicant has utilized the services of Walker Parking Consultants, a nationwide firm specializing in parking, to determine parking demand on the site. They have used this to determine the amount of stalls to include in the parking ramp, and as a target to reach in building supply for the development. As the development continues, and in the interest of maximizing the commercial potential of the site, City staff has been working with the developer to ensure that as each new building is proposed, that the parking demand is balanced with the parking supply.
- There is a potential that a resolution by the City Commission to allow a reduction in parking is required with either this building, next building, or both. This would need to be determined prior to the issuance of a building permit.
- The applicant is working with Walker Parking Consultants to continue to gauge the development of the site with the demand ratios to determine

NOTICES:

Sent to: Property owners within 150' and applicable agencies and departments

Comments Received:

- None to date

CONSISTENCY WITH COMPREHENSIVE PLAN AND OTHER APPLICABLE CITY PLANS AND ORDINANCES:

- The uses within the proposed application would be consistent with the City's Comprehensive Plan, which depicts the area developing into a mixed-use node.

RECOMMENDATIONS:

It is recommended that the City approve the proposed application on the basis that it is consistent with City plans and ordinances with recommended conditions of approval as follows:

1. Development will be subject, but not limited to CO: Corridor Overlay District, 4-440 Supplementary District Regulations, 4-450 Off-Street Parking and Loading Requirements, and 4-460 Sign Regulations.
2. If deemed necessary by the City Attorney, a signed PUD Agreement is received.

PLANNING AND ZONING RECOMMENDATION:

At their May 14, 2019 meeting, the Planning and Zoning Commission recommended approval of the Planned Unit Development Amendment, subject to the two conditions listed above.



30TH AVE W

5TH ST W

A19-19
Subject Property

SHEYENNE ST

32ND AVE W

32ND AVE E

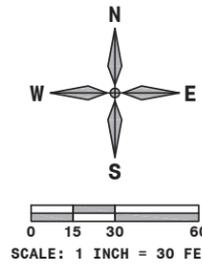
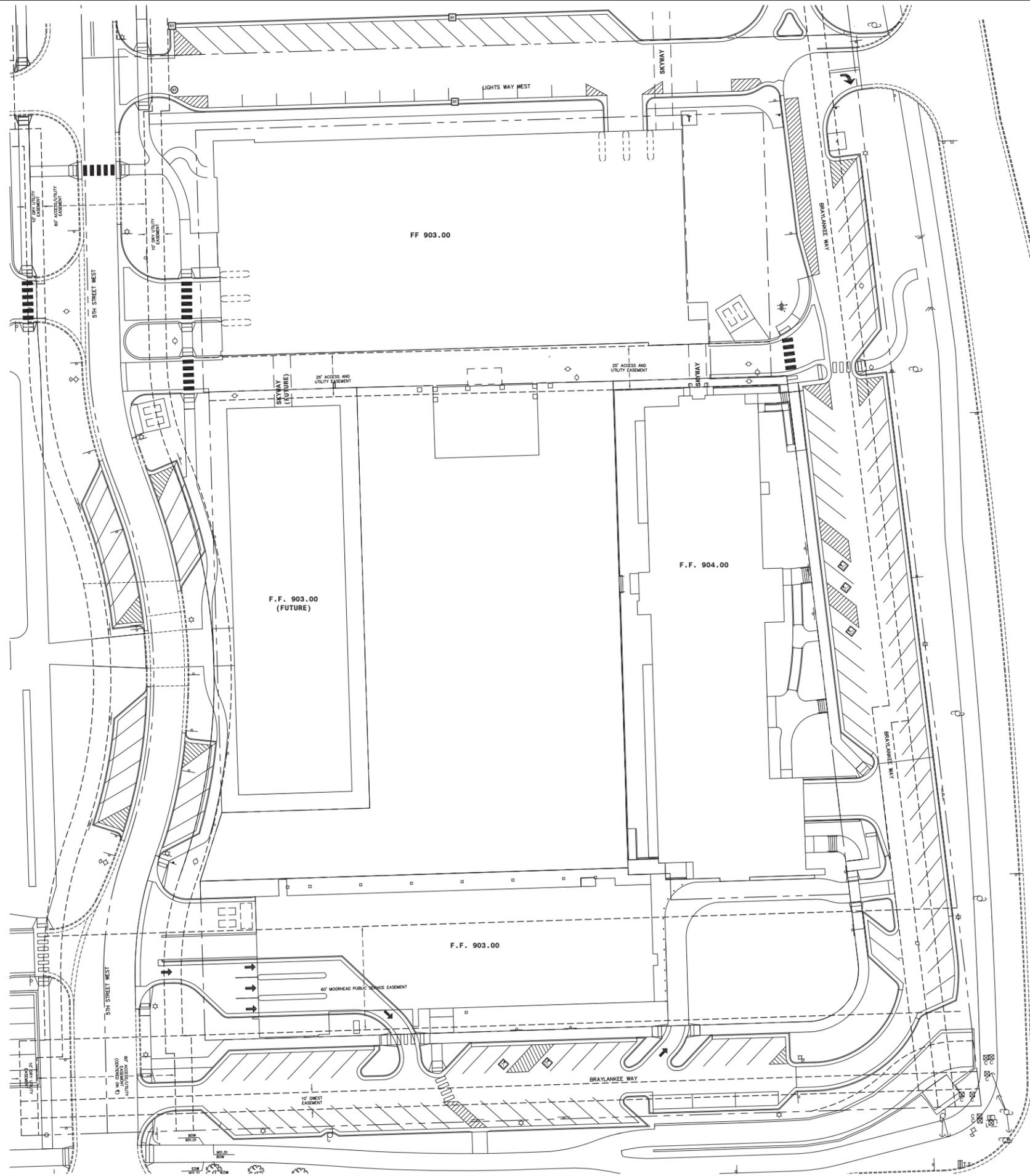


A19-19
Subject Property



- | | | | | |
|---|---|---|--|--|
| <ul style="list-style-type: none"> ■ A: Agricultural ■ C: Light Commercial ■ C-OP: Commercial Office Park ■ HC: Heavy Commercial | <ul style="list-style-type: none"> ■ LI: Light Industrial ■ M: Heavy Industrial ■ P: Public ■ PUD: Planned Unit Development | <ul style="list-style-type: none"> ■ R-1: One and Two Family ■ R-1A: Single Family ■ R-1B: Special Single Family ■ R-1E: Rural Estate | <ul style="list-style-type: none"> ■ R-1S: Special One and Two Family ■ R-1SM: Mixed One and Two Family ■ R-2: Limited Multiple Dwelling ■ R-3: Multiple Dwelling | <ul style="list-style-type: none"> ■ R-4: Mobile Home ■ R-5: Manufactured Home ■ R-L1A: Large Lot Single Family ■ R-R: Rural Residential |
|---|---|---|--|--|





SYMBOL LEGEND:

- EXISTING PROPERTY BOUNDARY
- - - EXISTING EASEMENT
- EXISTING SIGN
- EXISTING POWER POLE
- EXISTING SANITARY MANHOLE
- EXISTING HYDRANT W/ GATE VALVE
- EXISTING GATE VALVE
- EXISTING STORM MANHOLE
- EXISTING STORM MANHOLE
- EXISTING LIGHT POLE
- EXISTING FLARED END SECTION



4000 GARDEN VIEW DRIVE
SUITE 101
GRAND FORKS, ND 58201

P. 701.772.4266 | F. 701.772.4275
WWW.ICONARCHITECTS.COM

STRUCTURAL
KLJ
728 East Beaton Drive, Suite 101
West Fargo, ND 58078
(701) 232.5353 Office

MECHANICAL
Precision Mechanical Services
751 Armour St NW
West Fargo, ND 58078
(701) 282.4020 Office

ELECTRICAL
Magnum Electric Inc.
471 Christianson Drive W
West Fargo, ND 58078
(701) 551.3240 Office

CIVIL
MBN Engineering, Inc.
503 7th Street North, Suite 200
Fargo, ND 58102
(701) 478.6336 Office
(701) 478.6340 Fax

CONSTRUCTION MANAGER
Gehrtz Construction Services
510 4th Ave N
Fargo, ND 58102
(701) 297.0704 Office
(701) 280.9021 Fax
info@z2barch.com



West Fargo SHEYENNE 32
Sheyenne St & 32nd Ave S
West Fargo, ND 58078

Drawing History

No.	Description	Date

DRAWN BY: TS JN:17-049

NOT FOR CONSTRUCTION

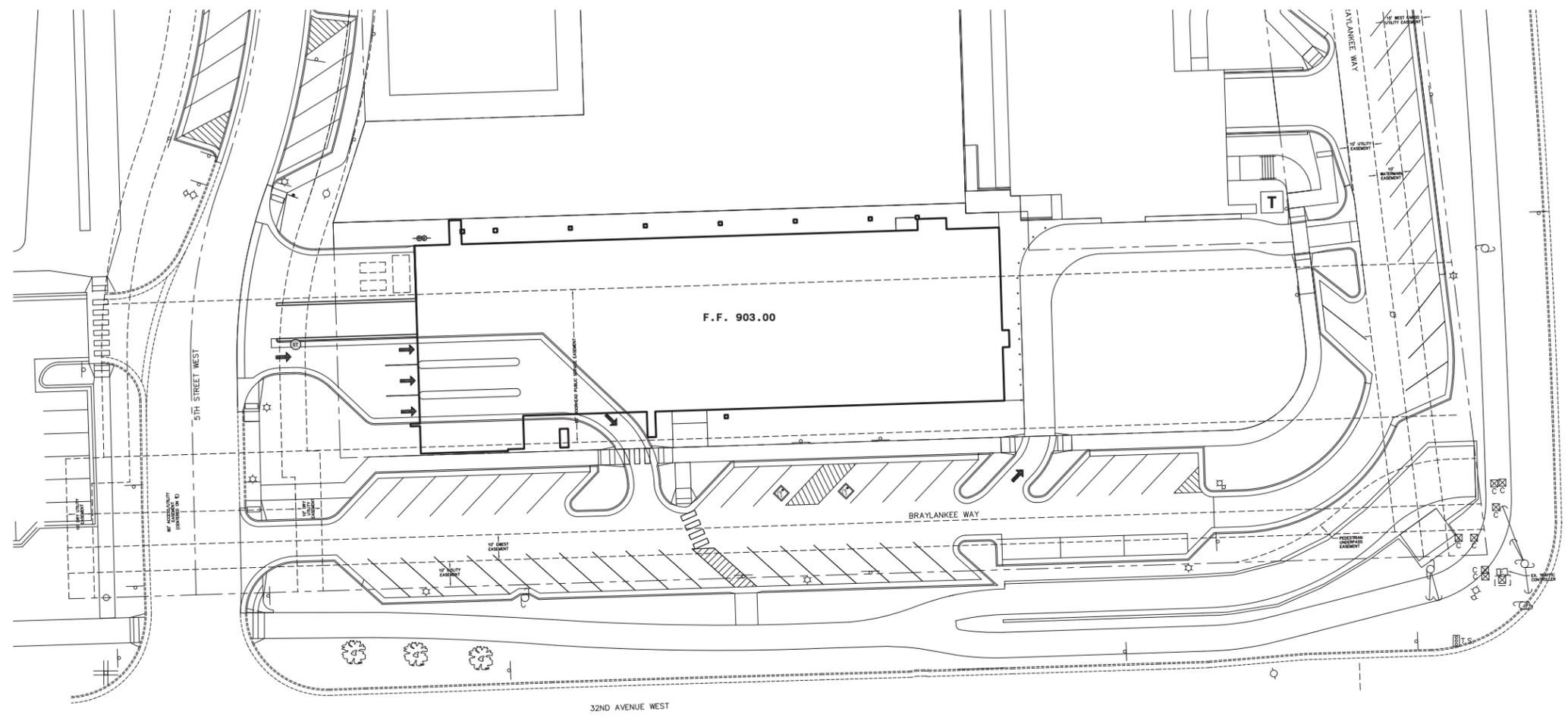
OVERALL SITE PLAN
SHEET

SHEYENNE 32 - SOUTH BUILDING
Sheyenne St & 32nd Ave S
West Fargo, ND 58078

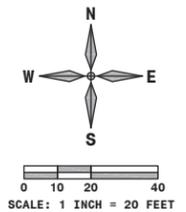
Drawing History

No.	Description	Date
1	CONSTRUCTION DOCUMENTS	10/24/18

DRAWN BY: AHS JN: 17-052



F.F. 903.00



- SYMBOL LEGEND:**
- EXISTING PROPERTY BOUNDARY
 - - - EXISTING EASEMENT
 - EXISTING SIGN
 - EXISTING POWER POLE W/ ANCHOR CABLE
 - EXISTING SANITARY MANHOLE
 - EXISTING HYDRANT W/ GATE VALVE
 - EXISTING GATE VALVE
 - EXISTING STORM MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING LIGHT POLE
 - EXISTING FLARED END SECTION
 - EXISTING COMMUNICATIONS PEDESTAL
 - EXISTING ELECTRICAL PEDESTAL
 - EXISTING TREE

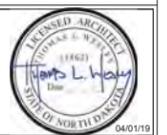
SHEYENNE 32 SOUTH

Sheyenne St & 32nd Ave S
West Fargo, ND 58078

Drawing History

No.	Description	Date
1	Construction Documents	04/01/19

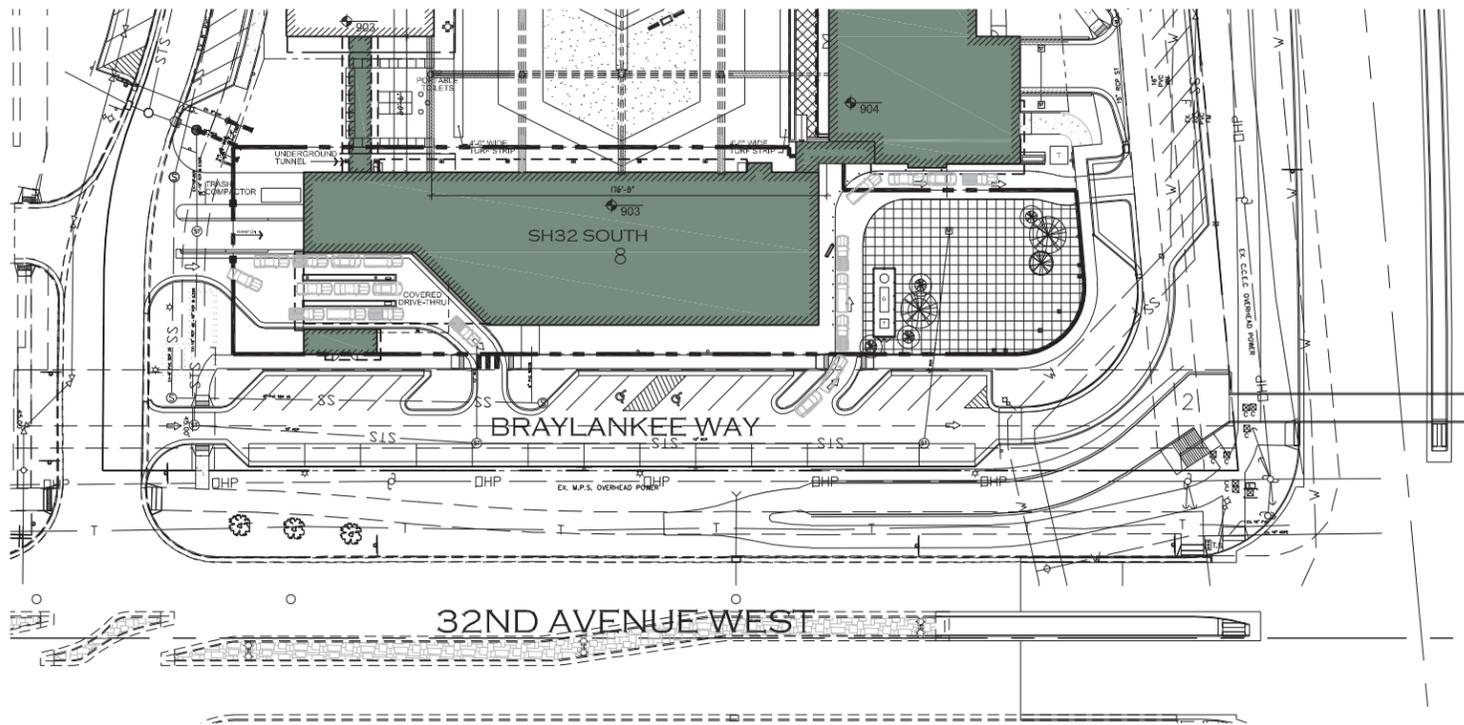
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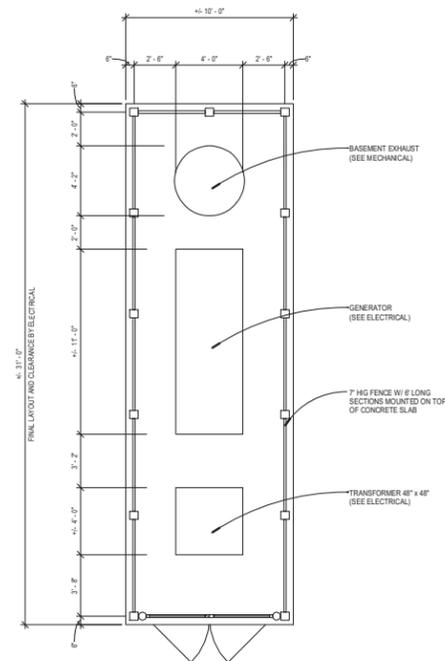
ENLARGED SITE PLAN

SHEET

A002



1 ENLARGED SITE PLAN
1" = 30'-0"



2 Transformer / Generator Enclosure
1/4" = 1'-0"

Drawing History

No.	Description	Date
1	Construction Documents	04/01/19

DRAWN BY: SD/MCM JN: 17-052

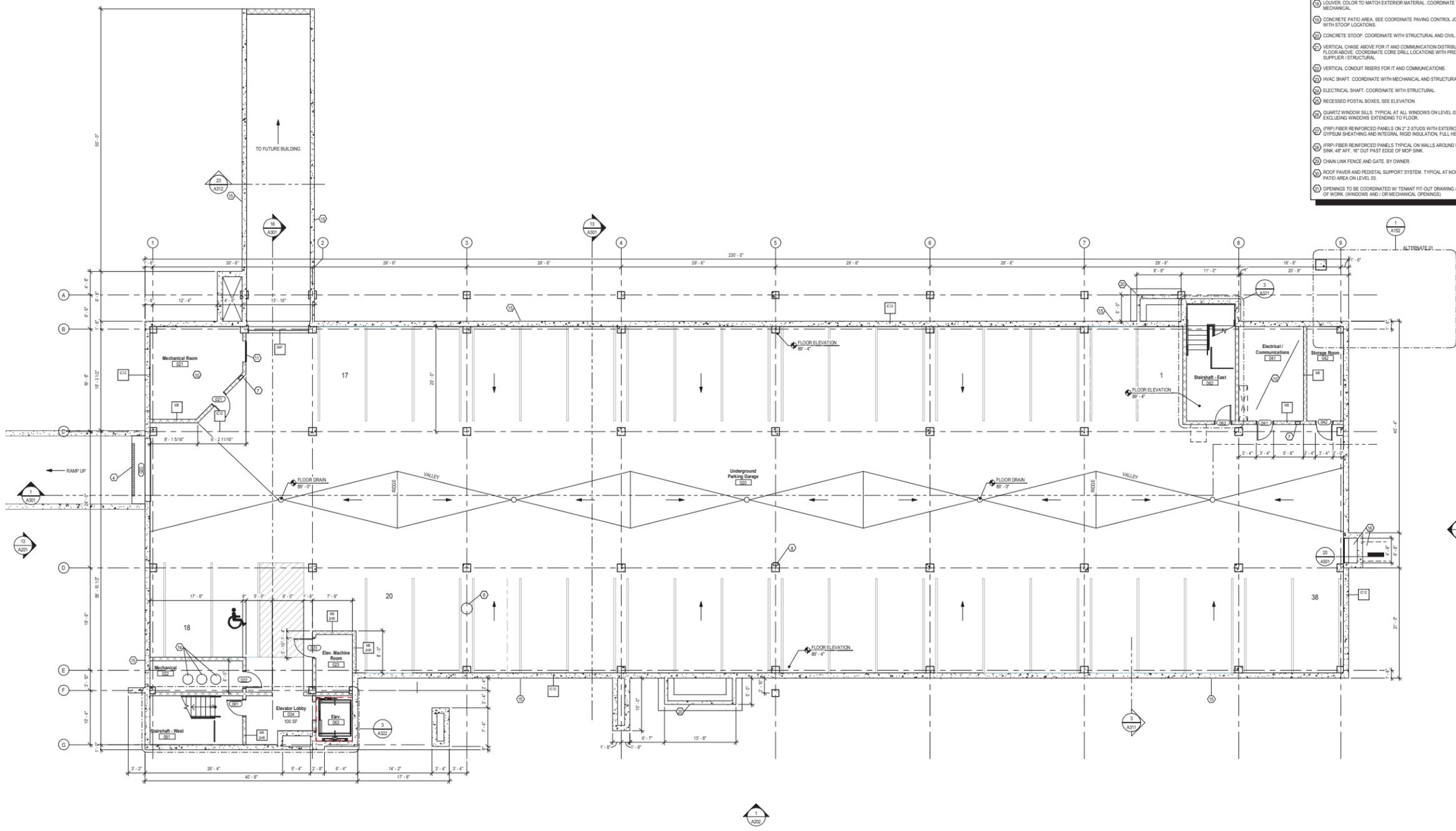


UNDERGROUND PARKING PLAN

SHEET
A100

- GENERAL NOTES - A101 TO A106 FLOOR PLANS:**
- COORDINATE WALL TYPES AND RATINGS, AND FLOOR / CEILING ASSEMBLY RATINGS, WITH CODE STUDY DRAWINGS.
 - COORDINATE WALL ASSEMBLIES WITH WALL TYPES LEGEND ON G SHEETS, AND WITH STRUCTURAL DRAWINGS.
 - ALL INTERIOR AND EXTERIOR STUD WALLS AND SOFFITS ON LEVELS 01 AND 02 ARE STEEL STUDS, TYPICAL.
 - ALL INTERIOR AND EXTERIOR STUD WALLS ON LEVELS 03 AND ABOVE ARE WOOD STUDS, TYPICAL. ALL SUSPENDED SOFFITS AND WALL ENCLOSURES AROUND INACCESSIBLE SPACES ARE STEEL STUDS.
 - ON LEVELS 01 AND 02, GRAY WALLS ARE TO BE EXCLUDED FROM BID, BY OTHER, OR PART OF PENDING BID PACKAGES.
 - ALL INTERIOR PRIMARY STRUCTURAL STEEL, COLUMNS, BEAMS AND X-BRACING TO RECEIVE FIRE PROTECTION (3 HOUR PROTECTION).
 - ALL EXTERIOR STRUCTURAL STEEL, COLUMNS AND BEAMS, TO RECEIVE FIRE PROTECTION VIA INTUMESCENT COATINGS (3 HOUR PROTECTION).
 - LINTEL IN MASONRY WALLS DO NOT REQUIRE FIRE PROTECTION IF THEY ARE ALL LESS THAN 4' - 0" LONG.
 - AT LEVELS 03 TO 06, WINDOW DIMENSIONS ARE NOMINAL. OPENINGS WILL NEED TO BE ADJUSTED FOR MANUFACTURER'S TOLERANCES.

- KEYNOTES - A101 TO A106 FLOOR PLANS:**
- PLACE WALL STUD FRAMING IN A MANNER TO ALLOW FOR DRYWALL TO PASS TIGHT BY FACE OF COLUMN FIRE PROTECTION ON THE SIDE RESPECTED.
 - TENANT SIDE OF INTERIOR PARTITION ARE TO INCLUDE THE GYPSUM WALL BOARD, BUT EXCLUDE ANY DRYWALL FINISH WORK. (FINISH WORK REQUIRED ON BOTH SIDES OF ANY PARTITION.)
 - HANDICAP DOOR ACTUATOR PUSH BUTTON LOCATION, COORDINATE WITH ELECTRICAL AND HARDWARE SPECIFICATIONS.
 - TRENCH DRAIN, COORDINATE WITH CIVIL AND MECHANICAL.
 - BRACED STEEL FRAME, COORDINATE WITH STRUCTURAL (BRACED FRAME TO RECEIVE INTUMESCENT PAINT)
 - BRACED STEEL FRAME, COORDINATE WITH STRUCTURAL (BRACED FRAME TO RECEIVE APPLIED PREPROOFING)
 - FLOOR DRAIN / SEDIMENT INTERCEPTOR, SEE MECHANICAL.
 - FIRE EXTINGUISHER CABINET - RECESSED.
 - FIRE EXTINGUISHER ON WALL MOUNTED BRACKET.
 - CONCRETE STOOP / UNEXCAVATED, COORDINATE WITH STRUCTURAL EQUIPMENT LAYOUT.
 - SEE ELECTRICAL AND MECHANICAL DESIGN BUILDING CONTRACTOR FOR EQUIPMENT LAYOUT.
 - COORDINATE OPENINGS IN CMU WITH MECHANICAL AND ELECTRICAL DESIGN BUILD CONTRACTOR.
 - FLOOR DRAIN / SLOPED CONCRETE FLOOR, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - NOT USED
 - SUMP PIT AND SEWAGE PIT, COORDINATE SIZES WITH MECHANICAL.
 - DRAIN TIE CONTINUOUS AT BUILDING PERIMETER FOUNDATION AND AT ELEVATOR PIT FOOTING, COORDINATE WITH STRUCTURAL AND MECHANICAL.
 - EXHAUST LOUVER AND PIPE, COORDINATE SIZES WITH MECHANICAL.
 - BUILDING SERVICE CONNECTION, COORDINATE WITH CIVIL, FLASH PIPE PENETRATION INTO EXISTING FOUNDATION WATER PROOFING.
 - LOUVER, COLOR TO MATCH EXTERIOR MATERIAL, COORDINATE WITH MECHANICAL.
 - CONCRETE PATIO AREA, SEE COORDINATE PAVING CONTROL JOINTS WITH STOOP LOCATIONS.
 - CONCRETE STOOP, COORDINATE WITH STRUCTURAL AND CIVIL.
 - VERTICAL CHASE ABOVE FOR IT AND COMMUNICATION DISTRIBUTION AT FLOOR ABOVE, COORDINATE CORE DRILL LOCATIONS WITH PRECAST SUPPLIER / STRUCTURAL.
 - VERTICAL CONDUIT RISERS FOR IT AND COMMUNICATIONS.
 - PHAC SHAFT, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - ELECTRICAL SHAFT, COORDINATE WITH STRUCTURAL.
 - RECESSED POSTAL BOXES, SEE ELEVATION.
 - QUARTZ WINDOW SILLS, TYPICAL AT ALL WINDOWS ON LEVEL 03 TO 06, EXCLUDING WINDOWS EXTENDING TO FLOOR.
 - FRP FIBER REINFORCED PANELS ON 2" STUDS WITH EXTERIOR GYPSUM SHEATHING AND INTEGRAL RIGID INSULATION, FULL HEIGHT.
 - FRP FIBER REINFORCED PANELS TYPICAL ON WALLS AROUND MOP SINK, 4" AFF, 16" OUT PAST EDGE OF MOP SINK.
 - CHAIN LINK FENCE AND GATE, BY OWNER.
 - ROOF PAVEMENT AND PEDISTAL SUPPORT SYSTEM, TYPICAL AT NORTH PATIO AREA ON LEVEL 03.
 - OPENINGS TO BE COORDINATED BY TENANT FIT-OUT DRAWING / SCOPE OF WORK, (WINDOWS AND / OR MECHANICAL OPENINGS)



1
A100
Underground Parking Plan
1/8" = 1'-0"

SHEYENNE 32 - SOUTH BUILDING
Sheyenne St & 32nd Ave S
West Fargo, ND 58078

Drawing History

No.	Description	Date
1	Construction Documents	04/01/19

DRAWN BY: SD/MCM JN: 17-052

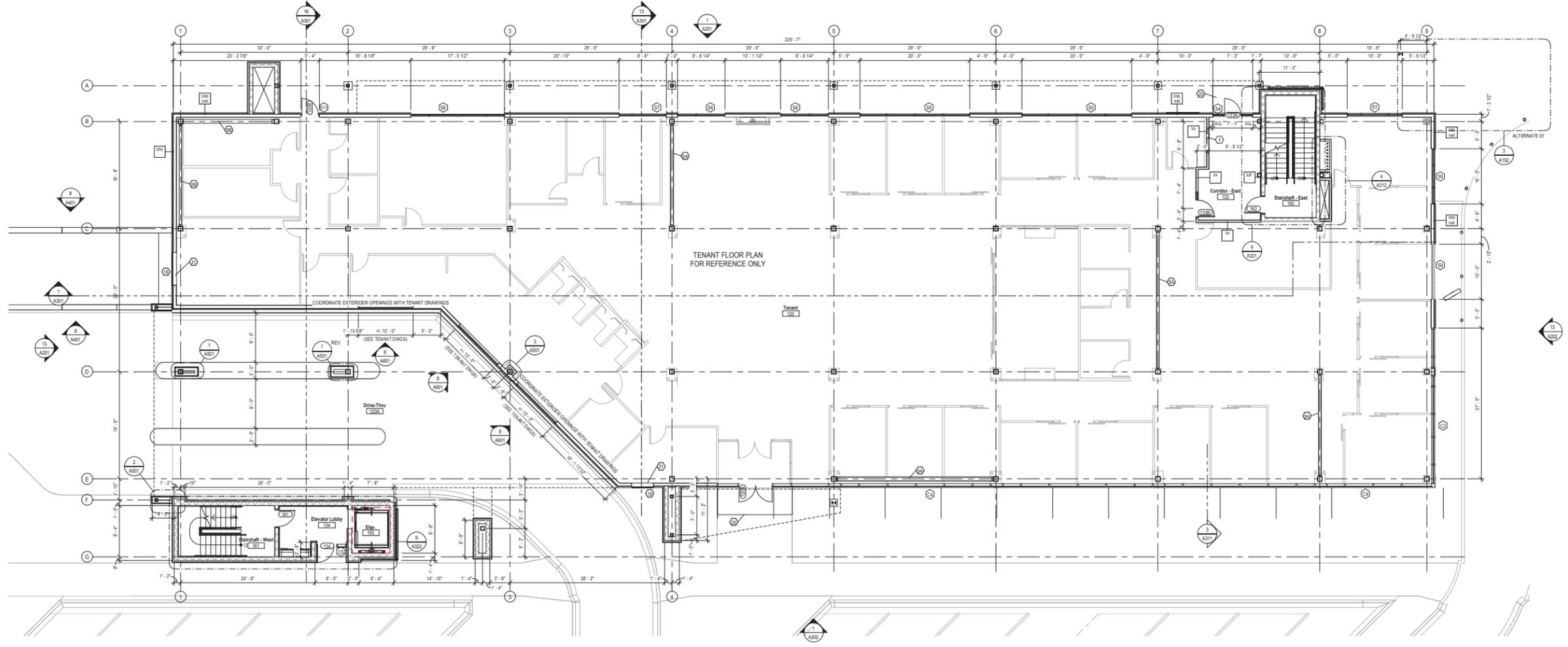


FIRST FLOOR PLAN

SHEET
A101

- GENERAL NOTES - A101 TO A106 FLOOR PLANS:**
- COORDINATE WALL TYPES AND RATINGS, AND FLOOR / CEILING ASSEMBLY RATINGS, WITH CODE STUDY DRAWINGS.
 - COORDINATE WALL ASSEMBLIES WITH WALL TYPES LEGEND ON G SHEETS, AND WITH STRUCTURAL DRAWINGS.
 - ALL INTERIOR AND EXTERIOR STUD WALLS AND SOFFITS ON LEVELS 01 AND 02 ARE STEEL STUDS, TYPICAL.
 - ALL INTERIOR AND EXTERIOR STUD WALLS ON LEVELS 03 AND ABOVE ARE WOOD STUDS, TYPICAL UNO. ALL SUSPENDED SOFFITS AND WALL ENCLOSURES AROUND INACCESSIBLE SPACES ARE STEEL STUDS.
 - ON LEVELS 01 AND 02, GRAY WALLS ARE TO BE EXCLUDED FROM BID, BY OTHER, OR PART OF PENDING BID PACKAGES.
 - ALL INTERIOR PRIMARY STRUCTURAL STEEL, COLUMNS, BEAMS AND X-BRACING TO RECEIVE FIRE PROTECTION, (3 HOUR PROTECTION)
 - ALL EXTERIOR STRUCTURAL STEEL, COLUMNS AND BEAMS, TO RECEIVE FIRE PROTECTION VIA INTUMESCENT COATINGS, (3 HOUR PROTECTION)
 - UNTEL IN MASONRY WALLS DO NOT REQUIRE FIRE PROTECTION IF THEY ARE ALL LESS THAN 6'-0" LONG.
 - AT LEVELS 03 TO 06, WINDOW DIMENSIONS ARE NOMINAL. OPENINGS WILL NEED TO BE ADJUSTED FOR MANUFACTURER ROUGH OPENINGS.

- KEYNOTES - A101 TO A106 FLOOR PLANS:**
- PLACE WALL STUD FRAMING IN A MANNER TO ALLOW FOR DRYWALL TO PASS TIGHT BY FACE OF COLUMN FIRE PROTECTION ON THE SIDE SPECIFIED.
 - TENANT SIDE OF INTERIOR PARTITION ARE TO INCLUDE THE GYPSUM WALL BOARD, BUT EXCLUDE ANY DRYWALL FINISH WORK, FINISH WORK REQUIRED ON BOTH SIDES OF ANY RATED PARTITIONS.)
 - HANDICAP DOOR ACTUATOR PUSH BUTTON LOCATION, COORDINATE WITH ELECTRICAL AND HARDWARE SPECIFICATIONS.
 - TRENCH DRAIN, COORDINATE WITH CIVIL AND MECHANICAL.
 - BRACED STEEL FRAME, COORDINATE WITH STRUCTURAL, (BRACED FRAME TO RECEIVE INTUMESCENT PAINT)
 - BRACED STEEL FRAME, COORDINATE WITH STRUCTURAL, (BRACED FRAME TO RECEIVE APPLIED FIREPROOFING)
 - FLOOR DRAIN / SEDIMENT INTERCEPTOR, SEE MECHANICAL.
 - FIRE EXTINGUISHER CABINET - RECESSED.
 - FIRE EXTINGUISHER ON WALL MOUNTED BRACKET.
 - CONCRETE STOOP / UNEXCAVATED, COORDINATE WITH STRUCTURAL.
 - SEE ELECTRICAL AND MECHANICAL DESIGN BUILDING CONTRACTOR FOR EQUIPMENT LAYOUT
 - COORDINATE OPENINGS IN CMU WITH MECHANICAL AND ELECTRICAL DESIGN BUILD CONTRACTOR.
 - FLOOR DRAIN / SLOPED CONCRETE FLOOR, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - NOT USED
 - SUMP PIT AND SEWAGE PIT, COORDINATE SIZES WITH MECHANICAL.
 - DRAIN TILE CONTINUOUS AT BUILDING PERIMETER FOUNDATION AND AT ELEVATOR PIT FOOTING, COORDINATE WITH STRUCTURAL AND MECHANICAL.
 - EXHAUST LOUVER AND PIPE, COORDINATE SIZES WITH MECHANICAL.
 - BUILDING SERVICE CONNECTION, COORDINATE WITH CIVIL, FLASH PIPE PENETRATION INTO EXISTING FOUNDATION WATER PROOFING.
 - LOUVER, COLOR TO MATCH EXTERIOR MATERIAL, COORDINATE WITH MECHANICAL.
 - CONCRETE PATIO AREA, SEE COORDINATE PAVING CONTROL JOINTS WITH STOOD LOCATIONS.
 - CONCRETE STOOP, COORDINATE WITH STRUCTURAL AND CIVIL.
 - VERTICAL CHASE ABOVE FOR IT AND COMMUNICATION DISTRIBUTION AT FLOOR ABOVE, COORDINATE CORE DRILL LOCATIONS WITH PRECAST SUPPLIER STRUCTURAL.
 - VERTICAL CONDUIT RISERS FOR IT AND COMMUNICATIONS.
 - HVAC SHAFT, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - ELECTRICAL SHAFT, COORDINATE WITH STRUCTURAL.
 - RECESSED POSTAL BOXES, SEE ELEVATION.
 - QUARTZ WINDOW SILLS, TYPICAL AT ALL WINDOWS ON LEVEL 03 TO 06, EXCLUDING WINDOWS EXTENDING TO FLOOR.
 - FRP FIBER REINFORCED PANELS ON 2" STUDS WITH EXTERIOR GYPSUM SHEATHING AND INTEGRAL RIGID INSULATION, FULL HEIGHT.
 - FRP FIBER REINFORCED PANELS TYPICAL ON WALLS AROUND MOP SINK, 48" AFF, 16" OUT PAST EDGE OF MOP SINK.
 - CHAIN LINK FENCE AND GATE, BY OWNER.
 - ROOF PAVER AND PEDISTAL SUPPORT SYSTEM, TYPICAL AT NORTH PATIO AREA ON LEVEL 03.
 - OPENINGS TO BE COORDINATED BY TENANT FIT-OUT DRAWING / SCOPE OF WORK, (WINDOWS AND / OR MECHANICAL OPENINGS)



1 First Floor Plan
1/8" = 1'-0"

- GENERAL NOTES - A101 TO A106 FLOOR PLANS:**
- COORDINATE WALL TYPES AND RATINGS, AND FLOOR / CEILING ASSEMBLY RATINGS, WITH CODE STUDY DRAWINGS.
 - COORDINATE WALL ASSEMBLIES WITH WALL TYPES LEGEND ON G SHEETS, AND WITH STRUCTURAL DRAWINGS.
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 - ALL EXTERIOR STRUCTURAL STEEL, COLUMNS AND BEAMS, TO RECEIVE FIRE PROTECTION VIA INTUMESCENT COATINGS, (3 HOUR PROTECTION)
 - UNTEL IN MASONRY WALLS DO NOT REQUIRE FIRE PROTECTION, IF THEY ARE ALL LESS THAN 6' - 0" LONG.
 - AT LEVELS 03 TO 06, WINDOW DIMENSIONS ARE NOMINAL, OPENINGS WILL NEED TO BE ADJUSTED FOR MANUFACTURER ROUGH OPENINGS.

- KEYNOTES - A101 TO A106 FLOOR PLANS:**
- PLACE WALL STUD FRAMING IN A MANNER TO ALLOW FOR DRYWALL TO PASS TEST BY FACE OF COLUMN FIRE PROTECTION ON THE SIDE REQUITED.
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 - HANDICAP DOOR ACTUATOR PUSH BUTTON LOCATION, COORDINATE WITH ELECTRICAL AND HARDWARE SPECIFICATIONS.
 - TRENCH DRAIN, COORDINATE WITH CIVIL AND MECHANICAL.
 - BRACED STEEL FRAME, COORDINATE WITH STRUCTURAL, (BRACED FRAME TO RECEIVE INTUMESCENT PAINT)
 - BRACED STEEL FRAME, COORDINATE WITH STRUCTURAL, (BRACED FRAME TO RECEIVE APPLIED PREFRORING)
 - FLOOR DRAIN / SEDIMENT INTERCEPTOR, SEE MECHANICAL.
 - FIRE EXTINGUISHER CABINET - RECESSED.
 - FIRE EXTINGUISHER ON WALL MOUNTED BRACKET.
 - CONCRETE STOOP / UNEXCAVATED, COORDINATE WITH STRUCTURAL.
 - SEE ELECTRICAL AND MECHANICAL DESIGN BUILDING CONTRACTOR FOR EQUIPMENT LAYOUT.
 - COORDINATE OPENINGS IN CMU WITH MECHANICAL AND ELECTRICAL DESIGN BUILD CONTRACTOR.
 - FLOOR DRAIN / SLOPED CONCRETE FLOOR, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - NOT USED
 - SUMP PIT AND SEWAGE PIT, COORDINATE SIZES WITH MECHANICAL.
 - DRAIN TILE, CONTINUOUS AT BUILDING PERIMETER FOUNDATION AND AT ELEVATOR PIT FOOTING, COORDINATE WITH STRUCTURAL AND MECHANICAL.
 - EXHAUST LOUVER AND PIPE, COORDINATE SIZES WITH MECHANICAL.
 - BUILDING SERVICE CONNECTION, COORDINATE WITH CIVIL, FLASH PIPE PENETRATION INTO EXISTING FOUNDATION WATER PROOFING.
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 - CONCRETE PATIO AREA, SEE COORDINATE PAVING CONTROL JOINTS WITH STOOP LOCATIONS.
 - CONCRETE STOOP, COORDINATE WITH STRUCTURAL AND CIVIL.
 - VERTICAL CHASE ABOVE FOR IT AND COMMUNICATION DISTRIBUTION AT FLOOR ABOVE, COORDINATE CORE DRILL LOCATIONS WITH PRECAST SUPPLIER / STRUCTURAL.
 - VERTICAL CONDUIT RISERS FOR IT AND COMMUNICATIONS.
 - MISC. SHAFT, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - ELECTRICAL SHAFT, COORDINATE WITH STRUCTURAL.
 - RECESSED POSTAL BOXES, SEE ELEVATION.
 - QUARTZ WINDOW SILLS, TYPICAL AT ALL WINDOWS ON LEVEL 03 TO 06, EXCLUDING WINDOWS EXTENDING TO FLOOR.
 - (FRP) FIBER REINFORCED PANELS ON 2" X 2 STUDS WITH EXTERIOR GYPSUM SHEATHING AND INTEGRAL RIGID INSULATION, FULL HEIGHT.
 - (FRP) FIBER REINFORCED PANELS TYPICAL ON WALLS AROUND MCP SINK, 4" AFF, 18" OUT PAST EDGE OF MCP SINK.
 - CHAIN LINK FENCE AND GATE, BY OWNER.
 - ROOF PAWER AND PEDISTAL SUPPORT SYSTEM, TYPICAL AT NORTH PATIO AREA ON LEVEL 03.
 - OPENINGS TO BE COORDINATED W/ TENANT FIT-OUT DRAWING / SCOPE OF WORK, (WINDOWS AND / OR MECHANICAL OPENINGS)

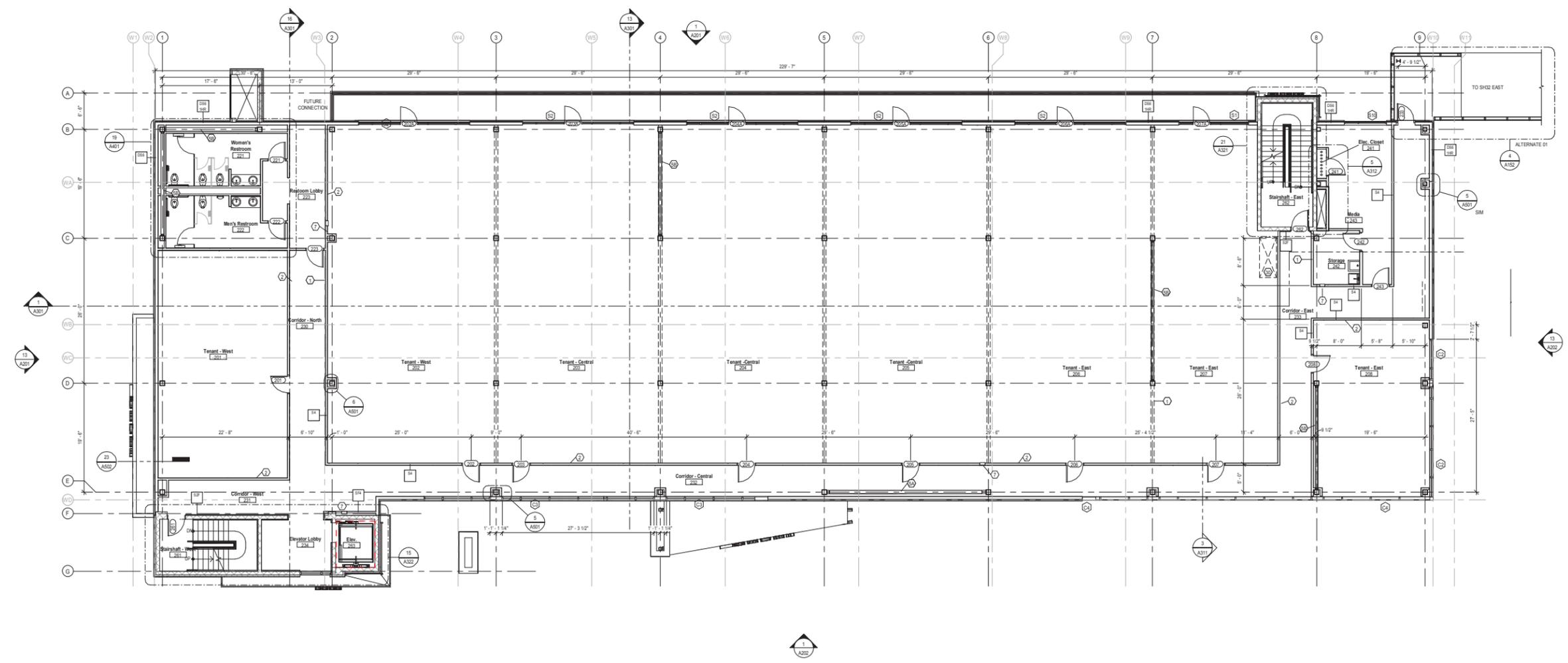
Drawing History

No.	Description	Date
1	Construction Documents	04/01/19

DRAWN BY: SD/MCM JN: 17-052



04/01/19



1 Second Floor Plan
A102
1/8" = 1'-0"

Drawing History

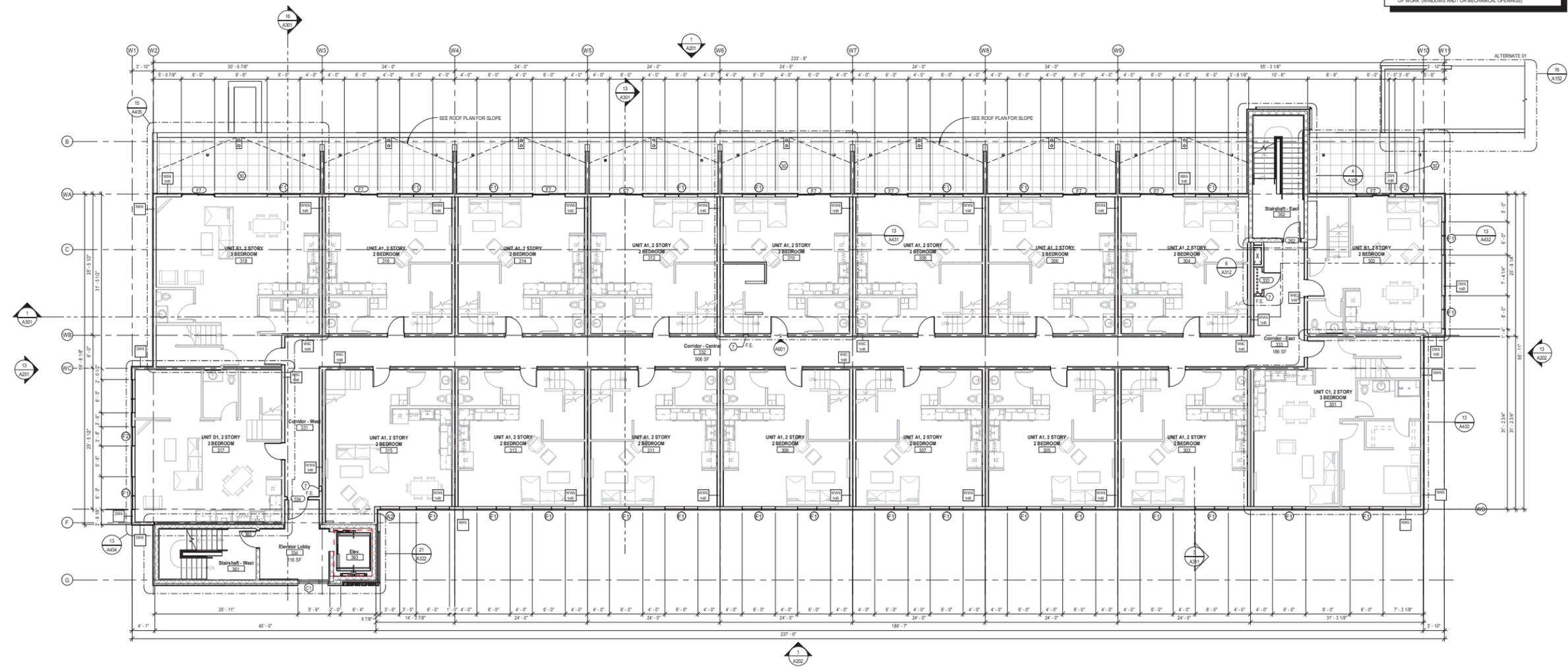
No.	Description	Date
1	Construction Documents	04/01/19

DRAWN BY: S.D.M/C.M. JN: 17-052



- GENERAL NOTES - A101 TO A106 FLOOR PLANS:**
- COORDINATE WALL TYPES AND RATINGS, AND FLOOR / CEILING ASSEMBLY RATINGS, WITH CODE STUDY DRAWINGS.
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 - ALL INTERIOR AND EXTERIOR STUD WALLS ON LEVELS 03 AND ABOVE ARE WOOD STUDS, TYPICAL UNLESS ALL SUSPENDED SOFFITS AND WALL ENCLOSURES AROUND INACCESSIBLE SPACES ARE STEEL STUDS.
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 - ALL EXTERIOR STRUCTURAL STEEL, COLUMNS AND BEAMS, TO RECEIVE FIRE PROTECTION VIA INTUMESCENT COATINGS, (3 HOUR PROTECTION).
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- KEYNOTES - A101 TO A106 FLOOR PLANS:**
- PLACE WALL STUD FRAMING IN A MANNER TO ALLOW FOR DRYWALL TO PASS TIGHT BY FACE OF COLUMN FIRE PROTECTION ON THE SIDE SPECIFIED.
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 - HANDICAP DOOR ACTUATOR PUSH BUTTON LOCATION, COORDINATE WITH ELECTRICAL AND HARDWARE SPECIFICATIONS.
 - TRENCH DRAIN, COORDINATE WITH CIVIL AND MECHANICAL.
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 - BRACED STEEL FRAME, COORDINATE WITH STRUCTURAL, (BRACED FRAME TO RECEIVE APPLIED PREPROOFING)
 - FLOOR DRAIN / SEDIMENT INTERCEPTOR, SEE MECHANICAL.
 - FIRE EXTINGUISHER CABINET - RECESSED.
 - FIRE EXTINGUISHER ON WALL MOUNTED BRACKET.
 - CONCRETE STOOP / LINECAVATED, COORDINATE WITH STRUCTURAL.
 - SEE ELECTRICAL AND MECHANICAL DESIGN BUILDING CONTRACTOR FOR EQUIPMENT LAYOUT
 - COORDINATE OPENINGS IN CMU WITH MECHANICAL AND ELECTRICAL DESIGN BUILD CONTRACTOR.
 - FLOOR DRAIN / SLOPED CONCRETE FLOOR, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - NOT USED
 - SUMP PIT AND SEWAGE PVT, COORDINATE SIZES WITH MECHANICAL.
 - DRAIN TILE CONTINUOUS AT BUILDING PERIMETER FOUNDATION AND AT ELEVATOR PIT FOOTING, COORDINATE WITH STRUCTURAL AND MECHANICAL.
 - EXHAUST LOUVER AND PIPE, COORDINATE SIZES WITH MECHANICAL.
 - BUILDING SERVICE CONNECTION, COORDINATE WITH CIVIL, FLASH PIPE PENETRATION INTO EXISTING FOUNDATION WATER PROOFING.
 - LOUVER, COLOR TO MATCH EXTERIOR MATERIAL, COORDINATE WITH MECHANICAL.
 - CONCRETE PATIO AREA, SEE COORDINATE PAVING CONTROL JOINTS WITH STAIR LOCATIONS.
 - CONCRETE STOOP, COORDINATE WITH STRUCTURAL AND CIVIL.
 - VERTICAL CHASE ABOVE FOR IT AND COMMUNICATION DISTRIBUTION AT FLOOR ABOVE, COORDINATE CORE DRILL LOCATIONS WITH PRECAST SUPPLIER / STRUCTURAL.
 - VERTICAL CONDUIT RISERS FOR IT AND COMMUNICATIONS.
 - HVAC SHAFT, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - ELECTRICAL SHAFT, COORDINATE WITH STRUCTURAL.
 - RECESSED POSTAL BOXES, SEE ELEVATION.
 - QUARTZ WINDOW SILLS, TYPICAL AT ALL WINDOWS ON LEVEL 03 TO 06, EXCLUDING WINDOWS EXTENDING TO FLOOR.
 - FRP FIBER REINFORCED PANELS ON 2" STUDS WITH EXTERIOR GYPSUM SHEATHING AND INTEGRAL RIGID INSULATION FULL HEIGHT.
 - FRP FIBER REINFORCED PANELS TYPICAL ON WALLS AROUND MOP SINK, 48" AFF, 16" OUT PAST EDGE OF MOP SINK.
 - CHAIN LINK FENCE AND GATE, BY OWNER.
 - ROOF PAVER AND PEDISTAL SUPPORT SYSTEM, TYPICAL AT NORTH PATIO AREA ON LEVEL 03.
 - OPENINGS TO BE COORDINATED BY TENANT FIT-OUT DRAWING / SCOPE OF WORK, (WINDOWS AND / OR MECHANICAL OPENINGS)



Third Floor Plan
1/8" = 1'-0"

Drawing History

No.	Description	Date
1	Construction Documents	04/01/19

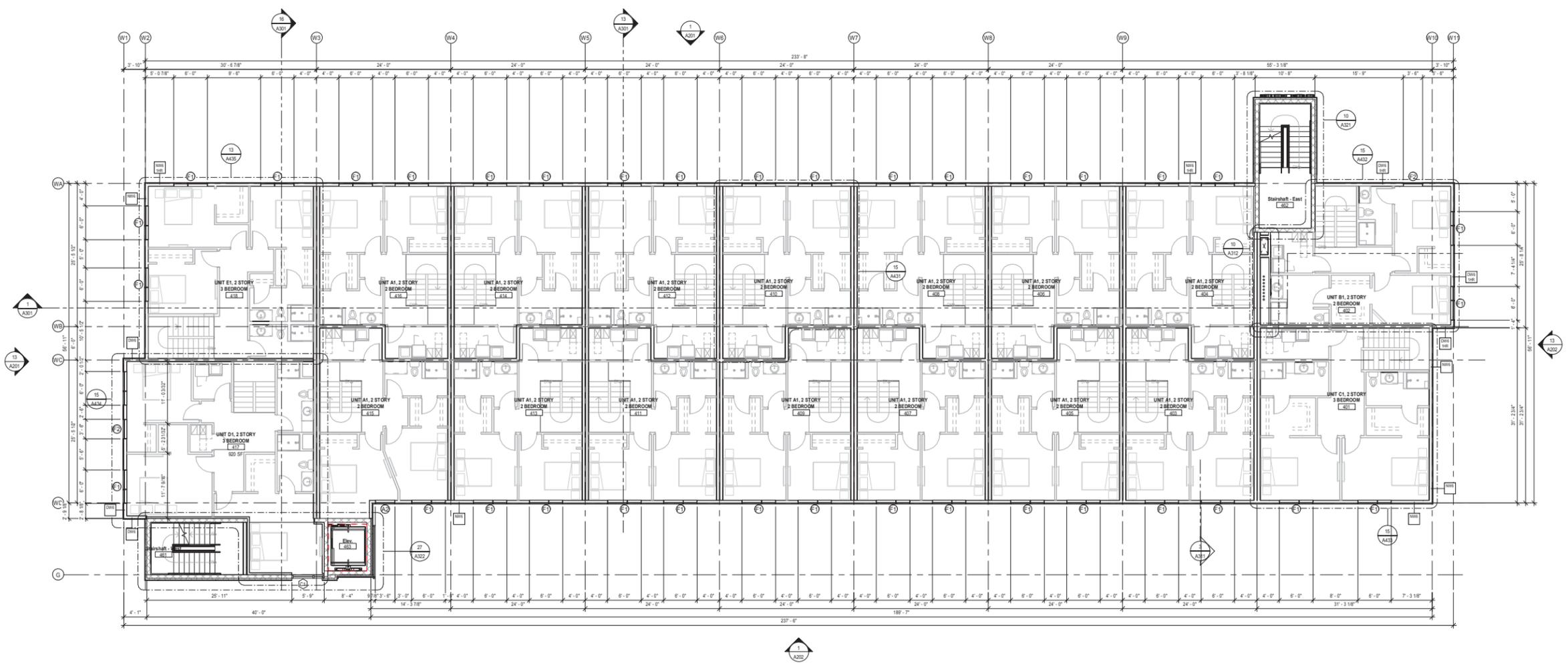
DRAWN BY: S.D/M/C/M JN: 17-052



- GENERAL NOTES - SEGMENTED FLOOR PLANS:**
- COORDINATE WALL TYPES AND RATINGS, AND FLOOR/CEILING ASSEMBLY RATINGS, WITH CODE STUDY DRAWINGS.
 - COORDINATE WALL ASSEMBLIES WITH WALL TYPES LEGEND ON G SHEETS, AND WITH STRUCTURAL DRAWINGS.
 - ALL INTERIOR AND EXTERIOR STUD WALLS ON LEVELS 01 AND 02 ARE STEEL STUDS, TYPICAL.
 - ALL INTERIOR AND EXTERIOR STUD WALLS ON LEVELS 03 AND ABOVE ARE WOOD STUDS, TYPICAL UNO.
 - ON LEVELS 01 AND 02, GYPSUM WALLS ARE TO BE EXCLUDED FROM BID, BY OTHER, OR PART OF PENDING BID PACKAGES.
 - ALL INTERIOR PRIMARY STRUCTURAL STEEL, COLUMNS AND BEAMS, TO RECEIVE APPLIED FIREPROOFING, (2 HOUR PROTECTION)
 - ALL EXTERIOR STRUCTURAL STEEL, COLUMNS AND BEAMS, TO RECEIVE FIRE PROTECTION VIA INTUMESCENT COATINGS, (3 HOUR PROTECTION)
 - UNTEL IN MASONRY WALLS DO NOT REQUIRE FIRE PROTECTION, IF THEY ARE ALL LESS THAN 6'-0" LONG.

- GENERAL NOTES - UNIT FLOOR PLANS:**
- CORRIDOR AND PARTY WALL FIRE RATINGS REQUIRE GYPSUM BOARD TO BE INSTALLED BEHIND ALL TUB AND SINKS SURROUNDING PRIOR TO INSTALLATION OR FIBERGLASS TUB INSERT, TYPICAL AT ALL LOCATIONS WHERE TUBS ARE LOCATED NEXT TO THESE RATED ASSEMBLIES.
 - RATED PARTY WALL ASSEMBLIES TO BE COMPLETED PRIOR TO INSTALLING FURRED WALLS FOR DRYER VENTS.

- KEYNOTES - SEGMENTED FLOOR PLANS:**
- PLACE WALL STUD FRAMING IN A MANNER TO ALLOW FOR DRYWALL TO PASS TIGHT BY FACE OF COLUMN FIRE PROTECTION ON THE SIDE DEPICTED.
 - TENANT SIDE OF INTERIOR PARTITION ARE TO INCLUDE THE GYPSUM WALL BEAMS, BUT EXCLUDE ANY ORIGINAL FINISH WORK. FINISH WORK REQUIRED ON BOTH SIDES OF ANY RATED PARTITIONS.
 - HANDICAP DOOR ACTUATOR PUSH BUTTON LOCATION, COORDINATE WITH ELECTRICAL AND HARDWARE SPECIFICATIONS.
 - TRENCH DRAIN, COORDINATE WITH CIVIL AND MECHANICAL.
 - BRACED STEEL FRAME, COORDINATE WITH STRUCTURAL.
 - FLOOR DRAIN / SEDIMENT INTERCEPTOR, SEE MECHANICAL.
 - FIRE EXTINGUISHER CABINET - RECESSED.
 - FIRE EXTINGUISHER ON WALL MOUNTED BRACKET.
 - CONCRETE STOOP / UNECAVATED, COORDINATE WITH STRUCTURAL.
 - NOT USED.
 - COORDINATE OPENINGS IN CMU WITH MECHANICAL AND ELECTRICAL DESIGN BUILD CONTRACTOR.
 - FLOOR DRAIN / SLOPED CONCRETE FLOOR, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - DRAIN TILE SUMP-PIT, COORDINATE LOCATIONS WITH MECHANICAL.
 - ELEVATOR SUMP-PIT, COORDINATE LOCATIONS WITH MECHANICAL.
 - DRAIN TILE CONTINGIOUS AT BUILDING PERIMETER FOUNDATION AND AT ELEVATOR FOOTING, COORDINATE WITH STRUCTURAL AND MECHANICAL.
 - NOT USED.
 - BUILDING SERVICE CONNECTION, COORDINATE WITH CIVIL, FLASH PIPE PENETRATION INTO EXISTING FOUNDATION WATER PROOFING.
 - NOT USED.
 - CONCRETE PATIO AREA, SEE COORDINATE PAVING CONTROL JOINTS WITH STAIR LOCATIONS.
 - NOT USED.
 - VERTICAL CHASE ABOVE FOR IT AND COMMUNICATION DISTRIBUTION AT FLOOR ABOVE, COORDINATE CORE DRILL LOCATIONS WITH PRECAST SUPPLIER / STRUCTURAL.
 - VERTICAL CONDUIT RISERS FOR IT AND COMMUNICATIONS.
 - HVAC SHAFT, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - ELECTRICAL SHAFT, COORDINATE WITH STRUCTURAL.
 - RECESSED POSTAL BOXES, SEE ELEVATION.
 - QUARTZ WINDOW SILLS, TYPICAL AT ALL WINDOWS ON LEVEL 03 TO 06 EXCLUDING WINDOWS EXTENDING TO FLOOR.
 - (FRP) FIBER REINFORCED PANELS ON 2'-0" STUDS WITH EXTERIOR GYPSUM SHEATHING AND INTEGRAL RIGID INSULATION, FULL HEIGHT.
 - (FRP) FIBER REINFORCED PANELS TYPICAL ON WALLS AROUND MOP SINK, 48" AFF, 16" OUT PAST EDGE OF MOP SINK.
 - CHAIN LINK FENCE AND GATE, BY OWNER.



Fourth Floor Plan
1/8" = 1'-0"

SHEYENNE 32 - SOUTH BUILDING
Shyenenne St & 32nd Ave S
West Fargo, ND 58078

Drawing History

No.	Description	Date
1	Construction Documents	04/01/19

DRAWN BY: S.D/M/C/M JN: 17-052



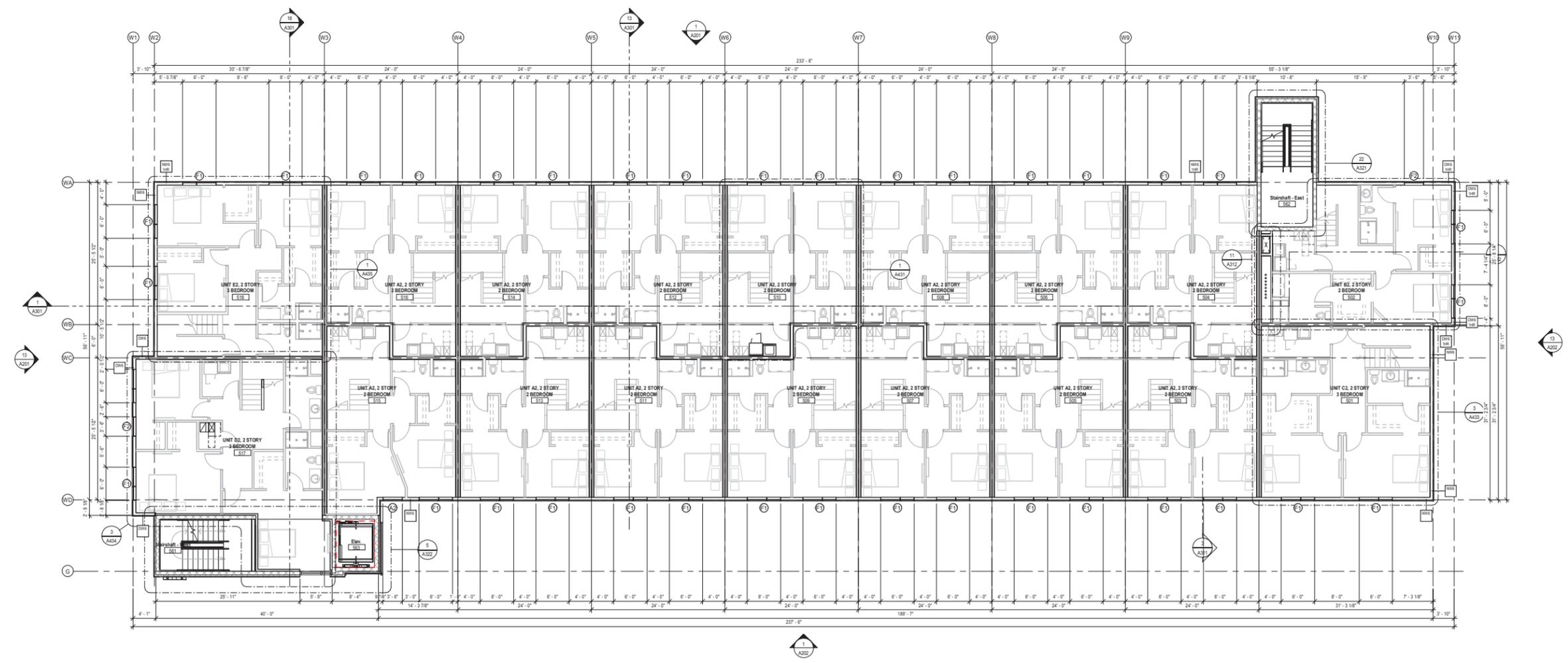
FIFTH FLOOR PLAN

SHEET
A105

- GENERAL NOTES - SEGMENTED FLOOR PLANS:**
- COORDINATE WALL TYPES AND RATINGS, AND FLOOR / CEILING ASSEMBLY PARTINGS, WITH CODE STUDY DRAWINGS.
 - COORDINATE WALL ASSEMBLIES WITH WALL TYPES LEGEND ON G SHEETS, AND WITH STRUCTURAL DRAWINGS.
 - ALL INTERIOR AND EXTERIOR STUD WALLS ON LEVELS 01 AND 02 ARE STEEL STUDS, TYPICAL.
 - ALL INTERIOR AND EXTERIOR STUD WALLS ON LEVELS 03 AND ABOVE ARE WOOD STUDS, TYPICAL LND.
 - ON LEVELS 01 AND 02, GRAY WALLS ARE TO BE EXCLUDED FROM BID, BY OTHER, OR PART OF PENDING BID PACKAGES.
 - ALL INTERIOR PRIMARY STRUCTURAL STEEL COLUMNS AND BEAMS, TO RECEIVE APPLIED FIREPROOFING, (3 HOUR PROTECTION)
 - ALL EXTERIOR STRUCTURAL STEEL COLUMNS AND BEAMS, TO RECEIVE FIRE PROTECTION VIA INTUMESCENT COATINGS, (3 HOUR PROTECTION)
 - INTEL IN MASONRY WALLS DO NOT REQUIRE FIRE PROTECTION, IF THEY ARE ALL LESS THAN 6" - 0" LONG.

- GENERAL NOTES - UNIT FLOOR PLANS:**
- CORRIDOR AND PARTY WALL FIRE RATINGS REQUIRE GYPSUM BOARD TO BE INSTALLED BEHIND ALL TUB AND SHOWER SURROUNDS PRIOR TO INSTALLATION OR FIREGLASS TUB INSERT. TYPICAL AT ALL LOCATIONS WHERE TUBS ARE LOCATED NEXT TO THESE RATED ASSEMBLIES.
 - RATED PARTY WALL ASSEMBLIES TO BE COMPLETED PRIOR TO INSTALLING FIRE-RATED WALLS FOR DRIVE VENTS.

- KEYNOTES - SEGMENTED FLOOR PLANS:**
- PLACE WALL STUD FRAMING IN A MANNER TO ALLOW FOR DRYWALL TO PASS TEST BY FACE OF COLUMN FIRE PROTECTION ON THE SIDE.
 - TENANT SIDE OF INTERIOR PARTITION ARE TO INCLUDE THE GYPSUM WALL BOARD, BUT EXCLUDE ANY DRYWALL FINISH WORK (FINISH WORK REQUIRED ON BOTH SIDES OF ANY RATED PARTITIONS.)
 - HANDICAP DOOR ACTUATOR PUSH BUTTON LOCATION, COORDINATE WITH ELECTRICAL AND HARDWARE SPECIFICATIONS.
 - TRENCH DRAIN, COORDINATE WITH CIVIL AND MECHANICAL.
 - BRACED STEEL FRAME, COORDINATE WITH STRUCTURAL.
 - FLOOR DRAIN / SEDIMENT INTERCEPTOR, SEE MECHANICAL.
 - FIRE EXTINGUISHER CABINET - RECESSED.
 - FIRE EXTINGUISHER ON WALL MOUNTED BRACKET.
 - CONCRETE STOOP / UNEXCAVATED, COORDINATE WITH STRUCTURAL.
 - NOT USED.
 - COORDINATE OPENINGS IN CMU WITH MECHANICAL AND ELECTRICAL DESIGN BUILD CONTRACTOR.
 - FLOOR DRAIN / SLOPED CONCRETE FLOOR, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - DRAIN TILE SUMP-PIT, COORDINATE LOCATIONS WITH MECHANICAL.
 - ELEVATOR SUMP-PIT, COORDINATE LOCATIONS WITH MECHANICAL.
 - DRAIN TILE, CONTIGUOUS AT BUILDING PERIMETER FOUNDATION AND AT ELEVATOR PIT FOOTING, COORDINATE WITH STRUCTURAL AND MECHANICAL.
 - NOT USED.
 - BUILDING SERVICE CONNECTION, COORDINATE WITH CIVIL, FLASH PIPE PENETRATION INTO EXISTING FOUNDATION WATER PROOFING.
 - NOT USED.
 - CONCRETE PATIO AREA, SEE COORDINATE PAVING CONTROL JOINTS WITH STOOP LOCATIONS.
 - NOT USED.
 - VERTICAL CHASE ABOVE FOR IT AND COMMUNICATION DISTRIBUTION AT FLOOR ABOVE, COORDINATE CORE DRILL LOCATIONS WITH PRECAST SUPPLIER / STRUCTURAL.
 - VERTICAL CONDUIT RISERS FOR IT AND COMMUNICATIONS.
 - HVAC SHAFT, COORDINATE WITH MECHANICAL AND STRUCTURAL.
 - ELECTRICAL SHAFT, COORDINATE WITH STRUCTURAL.
 - RECESSED POSTAL BOXES, SEE ELEVATION.
 - QUARTZ WINDOW SILLS, TYPICAL AT ALL WINDOWS ON LEVEL 03 TO 06, EXCLUDING WINDOWS EXTENDING TO FLOOR.
 - #FRP FIBER REINFORCED PANELS ON 2" STUDS WITH EXTERIOR GYPSUM SHEATHING AND INTEGRAL RIGID INSULATION, FULL HEIGHT.
 - #FRP FIBER REINFORCED PANELS TYPICAL ON WALLS AROUND MCP SINK, 48" AFF, 16" OUT PAST EDGE OF MCP SINK.
 - CHAIN LINK FENCE AND GATE, BY OWNER.



Fifth Floor Plan
1/8" = 1'-0"

No.	Description	Date
1	Construction Documents	04/01/19



GENERAL NOTES - SEGMENTED FLOOR PLANS:

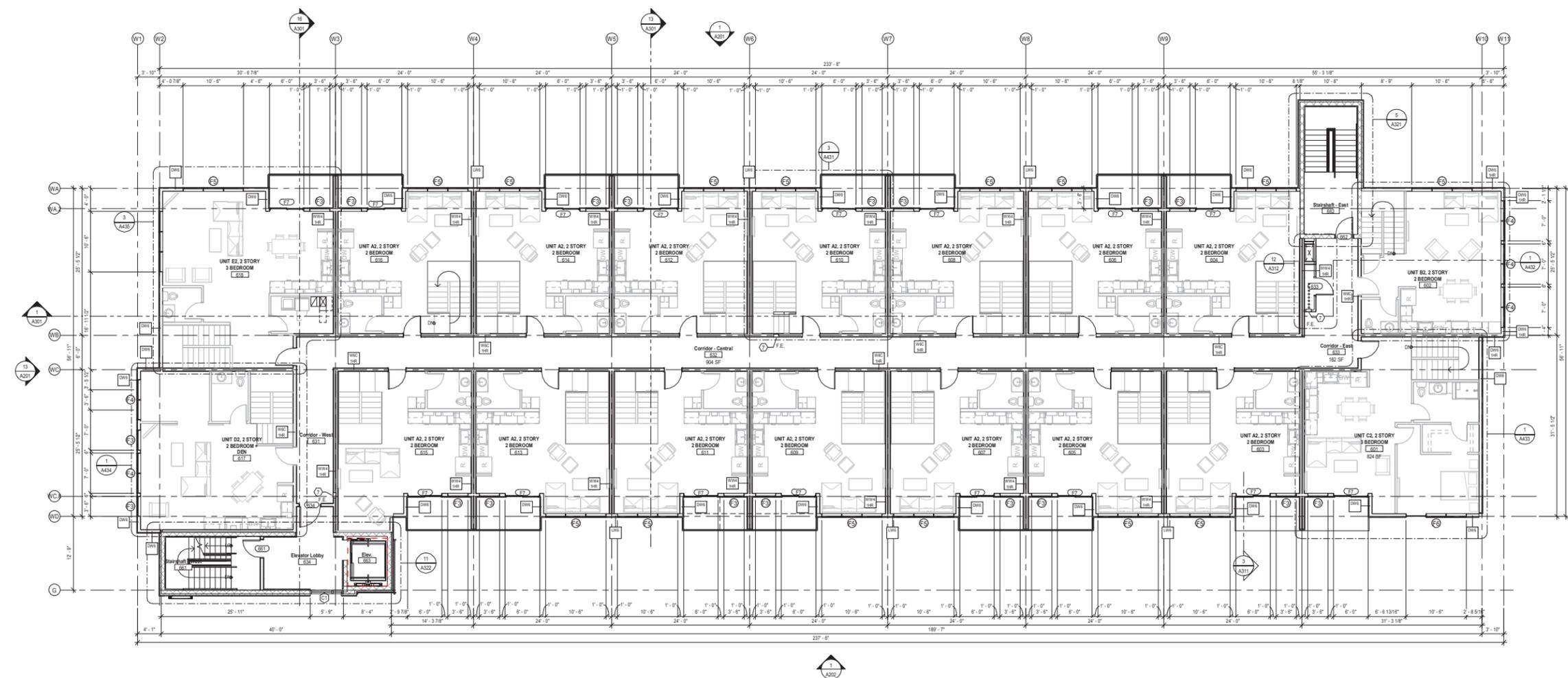
- COORDINATE WALL TYPES AND RATINGS, AND FLOOR / CEILING ASSEMBLY RATINGS, WITH CODE STUDY DRAWINGS.
- COORDINATE WALL ASSEMBLIES WITH WALL TYPES LEGEND ON G SHEETS, AND WITH STRUCTURAL DRAWINGS.
- ALL INTERIOR AND EXTERIOR STUD WALLS ON LEVELS 01 AND 02 ARE STEEL STUDS, TYPICAL.
- ALL INTERIOR AND EXTERIOR STUD WALLS ON LEVELS 03 AND ABOVE ARE WOOD STUDS, TYPICAL.
- ON LEVELS 01 AND 02, GRAY WALLS ARE TO BE EXCLUDED FROM BID, BY OTHER, OR PART OF PENDING BID PACKAGES.
- ALL INTERIOR PRIMARY STRUCTURAL STEEL COLUMNS AND BEAMS, TO RECEIVE APPLIED FIREPROOFING (3 HOUR PROTECTION).
- ALL EXTERIOR STRUCTURAL STEEL COLUMNS AND BEAMS, TO RECEIVE FIRE PROTECTION VIA INTUMESCENT COATINGS (3 HOUR PROTECTION).
- LINTEL IN MASONRY WALLS DO NOT REQUIRE FIRE PROTECTION, IF THEY ARE ALL LESS THAN 6' - 0" LONG.

GENERAL NOTES - UNIT FLOOR PLANS:

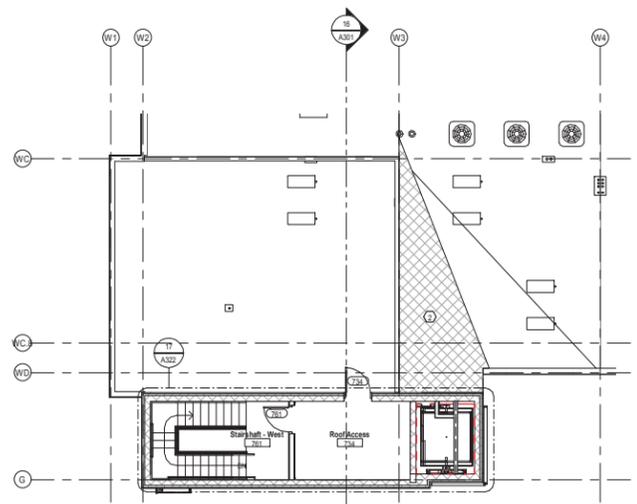
- CORRIDOR AND PARTY WALL FIRE RATINGS REQUIRE GYPSUM BOARD TO BE INSTALLED BEHIND ALL TUB AND SHOWER SURROUNDS PRIOR TO INSTALLATION OR FIBERGLASS TUB INSERT. TYPICAL AT ALL LOCATIONS WHERE TUBS ARE LOCATED NEXT TO THESE RATED ASSEMBLIES.
- RATED PARTY WALL ASSEMBLIES TO BE COMPLETED PRIOR TO INSTALLING FURRED WALLS FOR DOOR VENTS.

KEYNOTES - SEGMENTED FLOOR PLANS:

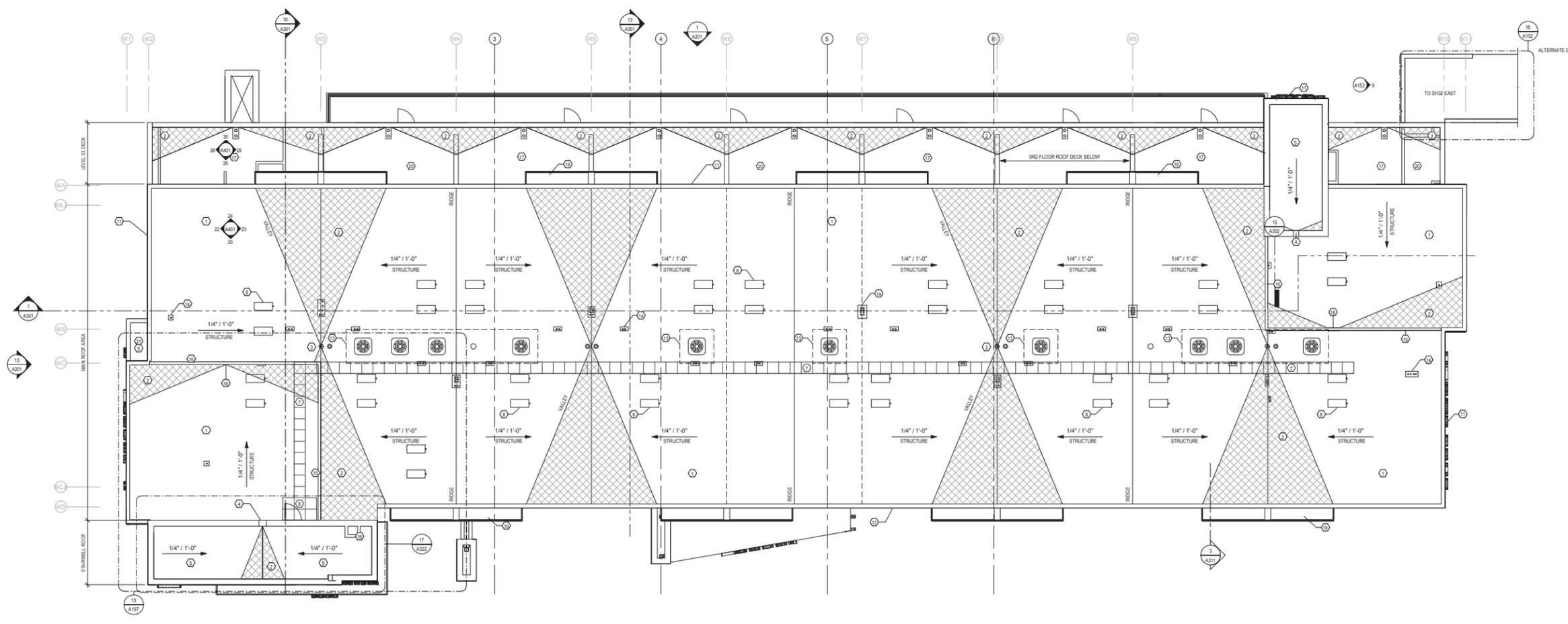
- PLACE WALL STUD FRAMING IN A MANNER TO ALLOW FOR DRYWALL TO PASS TEST BY FACE OF COLUMN FIRE PROTECTION ON THE SIDE DEPICTED.
- TENANT SIDE OF INTERIOR PARTITION ARE TO INCLUDE THE GYPSUM WALL BOARD, BUT EXCLUDE ANY DRYWALL FINISH WORK. (FINISH WORK REQUIRED ON BOTH SIDES OF ANY RATED PARTITIONS.)
- HANDICAP DOOR ACTUATOR PUSH BUTTON LOCATION, COORDINATE WITH ELECTRICAL AND HARDWARE SPECIFICATIONS.
- TRENCH DRAIN, COORDINATE WITH CIVIL AND MECHANICAL.
- BRACED STEEL FRAME, COORDINATE WITH STRUCTURAL.
- FLOOR DRAIN / SEDIMENT INTERCEPTOR, SEE MECHANICAL.
- FIRE EXTINGUISHER CABINET - RECESSED.
- FIRE EXTINGUISHER ON WALL MOUNTED BRACKET.
- CONCRETE STOOP / UNEXCAVATED, COORDINATE WITH STRUCTURAL.
- NOT USED.
- COORDINATE OPENINGS IN CMU WITH MECHANICAL AND ELECTRICAL DESIGN BUILD CONTRACTOR.
- FLOOR DRAIN / SLOPED CONCRETE FLOOR, COORDINATE WITH MECHANICAL AND STRUCTURAL.
- DRAIN TILE SUMP-PIT, COORDINATE LOCATIONS WITH MECHANICAL.
- ELEVATOR SUMP-PIT, COORDINATE LOCATIONS WITH MECHANICAL.
- DRAIN TILE, CONTINUOUS AT BUILDING PERIMETER FOUNDATION AND AT ELEVATOR PIT FOOTING, COORDINATE WITH STRUCTURAL AND MECHANICAL.
- NOT USED.
- BUILDING SERVICE CONNECTION, COORDINATE WITH CIVIL, FLASH PIPE PENETRATION INTO EXISTING FOUNDATION WATER PROOFING.
- NOT USED.
- CONCRETE PATIO AREA, SEE COORDINATE PAVING CONTROL JOINTS WITH STOOP LOCATIONS.
- NOT USED.
- VERTICAL CHASE ABOVE FOR IT AND COMMUNICATION DISTRIBUTION AT FLOOR ABOVE, COORDINATE CORE DRILL LOCATIONS WITH PRECAST SUPPLIER / STRUCTURAL.
- VERTICAL CONDUIT RISERS FOR IT AND COMMUNICATIONS.
- HVAC SHAFT, COORDINATE WITH MECHANICAL AND STRUCTURAL.
- ELECTRICAL SHAFT, COORDINATE WITH STRUCTURAL.
- RECESSED POSTAL BOXES, SEE ELEVATION.
- QUARTZ WINDOW SILLS, TYPICAL AT ALL WINDOWS ON LEVEL 03 TO 06, EXCLUDING WINDOWS EXTENDING TO FLOOR.
- (FRP) FIBER REINFORCED PANELS ON 2" STUDS WITH EXTERIOR GYPSUM SHEATHING AND INTEGRAL RIGID INSULATION FULL HEIGHT.
- (FRP) FIBER REINFORCED PANELS TYPICAL ON WALLS AROUND MOP SINK, 48" AFF, 18" OUT PAST EDGE OF MOP SINK.
- CHAIN LINK FENCE AND GATE, BY OWNER.



Sixth Floor Plan
1/8" = 1'-0"



13 Roof Access Level Plan (Level 07)
1/8" = 1'-0"



1 Roof Plan - Combined
1/8" = 1'-0"

GENERAL NOTES - ROOF PLAN:

- COORDINATE FULL EXTENT OF ROOF PENETRATIONS AND EQUIPMENT CURBS WITH MECHANICAL AND ELECTRICAL CONTRACTORS.
- ROOF MEMBRANE TO RUN UP VERTICAL PARAPET FACE AND OVER TOP OF WALL, TYPICAL THROUGHOUT.

KEYNOTES - ROOF PLAN:

- SLOPED ROOF TRUSS (1/4" / 1'-0" PITCH MINIMUM) (TYPICAL OVER MAIN BUILDING STRUCTURE)
- CRICKET, SLOPED INSULATION TO PROVIDE 1/4" / 1'-0" MINIMUM TYPICAL AT ALL BUILDING JOBS AND AS REQUIRED TO PROVIDE POSITIVE SLOPE TOWARD DRAINAGE. MAJOR LOCATIONS SHOWN HATCHED
- PARAPET ROOF DRAINS, PRIMARY AND SECONDARY. CONNECT EACH DRAIN TO STORM SEWER IN BASEMENT VIA INTERIOR RAIN LEADERS. COORDINATE RUNS WITH MECHANICAL.
- ROOF SCUPPER, DISCHARGE WITH OPEN FACE DOWNSPOUT TO ROOF/GRADE BELOW. (16" WIDE CHU WALL OPENING, LEVEL WITH TOP OF ROOF FRAMING.)
- TAPERED INSULATION ABOVE LEVEL FRAMING, 1/4" / 1'-0" MINIMUM SLOPE. (2" MINIMUM INSULATION DEPTH AROUND DRAIN / DISCHARGE)
- (8) CONCRETE LANDING PADS, 2'-0" x 2'-0"
- ROOF WALKWAY PADS, 2'-0" x 2'-0", WITH NO MORE THAN 1/2" BETWEEN EACH PAD.
- ROOF TOP EQUIPMENT, ENSURE UNIT IS TEN FEET AWAY OF BUILDING EDGES. COORDINATE WITH MECHANICAL AND STRUCTURAL.
- ROOF SCUPPER, THROUGH-WALL OVER FLOW DRAIN WITH METAL SPOUT-LIKE EXTENSION AND METAL TRIM. COORDINATED WITH ELEVATIONS OF ABOVE PRIMARY DRAIN.
- ROOF DRAIN DISCHARGE SCUPPER FROM FACE OF PARAPET, NO DOWNSPOUT. (FINISH TO MATCH ROOF CAP)
- METAL COPING, SLOPE BACK TOWARDS ROOF DECK, (TYPICAL AT ALL ROOF PARAPETS)
- WASTE LINE EXHAUST STACK, COORDINATE ALL LOCATIONS WITH MECHANICAL.
- CONDENSER UNIT SUPPORT PLATFORM, PROVIDE AN ADDITIONAL LAYER OF ROOF MEMBRANE UNDER EACH SUPPORT PLATFORM EXTENDING 1' OUT FROM ALL EDGES. COORDINATE WITH MECHANICAL.
- MECHANICAL VENT HOUSING / CURB UNIT WRAP ROOF MEMBRANE UP AND OVER HOUSING, COORDINATE WITH MECHANICAL.
- ROOF CURB, 2x4 WOOD STUD FRAMED WALL, 4" ABOVE ROOF DECK.
- ELEVATOR EXHAUST DAMPER HOUSING, COORDINATE WITH MECHANICAL.
- TAPERED INSULATION ABOVE CONCRETE DECK, 1/4" / 1'-0" MINIMUM SLOPE. (2" MINIMUM INSULATION DEPTH)
- DRAINAGE OPENING IN CURB WALL, FLUSH WITH DECK AT HIGHER ROOF.
- DECK OVERHANG AT LEVEL 06. SEE RECESSED DECK DETAIL FOR ROOFING INFORMATION.
- ROOF PAVEMENT AND PEDISTAL SUPPORT SYSTEM, TYPICAL AT NORTH PATIO AREA ON 3RD FLOOR. (NOT SHOWN SO ROOF DRAINS AND CRICKETS ARE VISIBLE)
- ROOF BELOW AT DRIVE THRU ENTRY SLOPE TO DRAIN TO GUTTER / DOWNSPOUT ON SOUTH WALL. SEE EXTERIOR ELEVATIONS FOR LOCATION.



4000 GARDEN VIEW DRIVE
SUITE 101
GRAND FORKS, ND 58201
P: 701.772.4366 / F: 701.772.4275
WWW.ICONARCHITECTS.COM

Heyer Engineering
1020 36th St. SW - Suite A
Fargo, ND 58103
(701) 280.0940 Office
www.heyengineering.com

Mechanical Precision
Plumbing Electrical Heating Cooling
1935 4th Ave NW
West Fargo, ND 58078
(701) 283.1753 Office

ELECTRICAL
Magnum Electric Inc.
471 Christianson Drive W
West Fargo, ND 58078
(701) 551.3240 Office

CIVIL
MBN Engineering, INC.
503 7th Street North, Suite 200
Fargo, ND 58102
(701) 478.6336 Office
(701) 478.6340 Fax

CONSTRUCTION MANAGER
Gehrts Construction Services
510 4th Ave N
Fargo, ND 58102
(701) 297.0704 Office
(701) 280.9021 Fax
info@gtarch.com



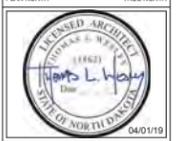
SHEYENNE 32 - SOUTH BUILDING

Sheyenne St & 32nd Ave S
West Fargo, ND 58078

Drawing History

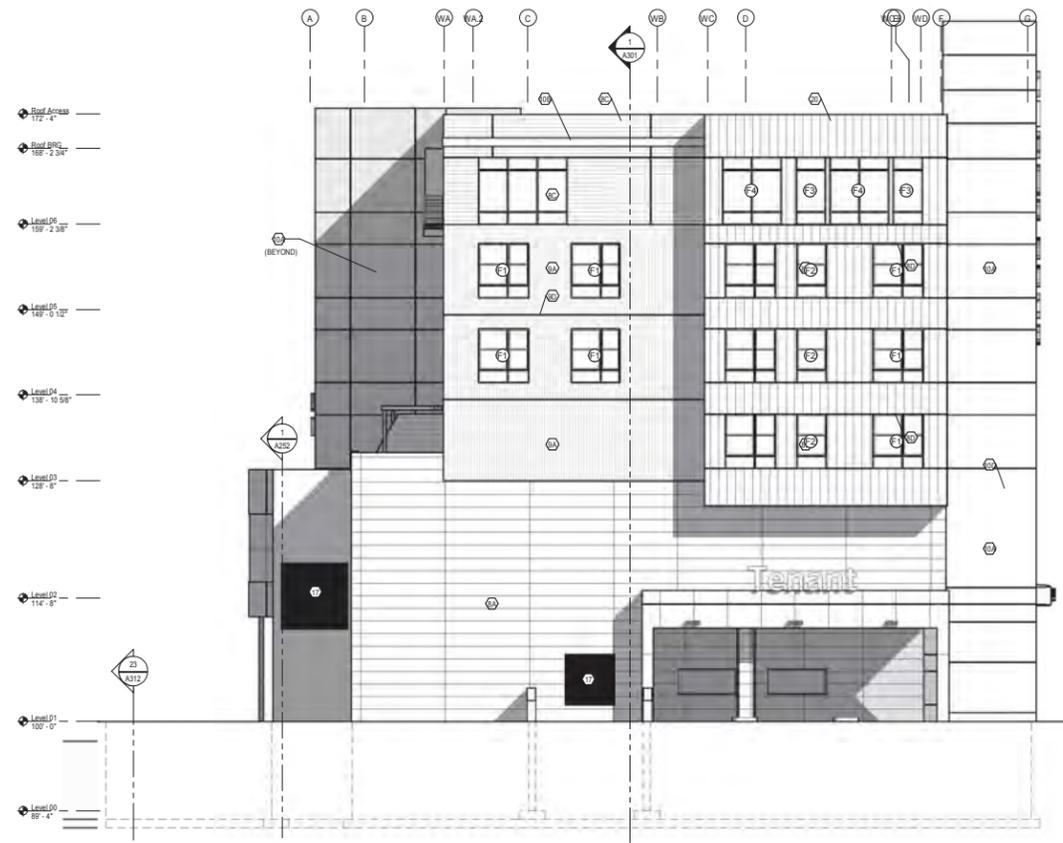
No.	Description	Date
1	Construction Documents	04/01/19

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ROOF PLAN & ROOF ACCESS PLAN

SHEET
A107



13 West Elevation (Sheyenne Street)
1/8" = 1'-0"



1 North Elevation (Plaza Side)
1/8" = 1'-0"

- ALTERNATES:**
- SEE SPECIFICATION SECTION 01200 - ALTERNATES FOR DETAILED DESCRIPTION OF WORK SCOPE TO BE INCLUDED SEPARATELY AS ALTERNATES.
 - ALTERNATE 01 - SKYWAY
 - ALTERNATE 03A - TENANT CANOPY (SOUTH)
 - ALTERNATE 03B - TENANT CANOPY (WEST)
 - ALTERNATE 04 - TRELLIS SYSTEM

- KEYNOTES - ELEVATIONS:**
- RAIN LEADER DISCHARGE FOR SECONDARY / OVERFLOW DRAIN.
 - NOT USED
 - BOLLARD, SEE SITE PLAN
 - EXTERIOR DOOR, SEE FLOOR PLANS AND SCHEDULES FOR MORE INFORMATION
 - METAL ROOF CAP, TYPICAL AT ALL PARAPETS ABOVE FLAT ROOF DECKS
 - TREX DECKING, DECK STRUCTURE, DECK RAILING, COORDINATE TYPE AND SYSTEM WITH DETAILS, (TYPICAL AT RESIDENTIAL UNITS)
 - METAL TUBE / FLAT BAR RAILING W/ CABLES, COORDINATE WITH DETAILS, (TYPICAL AT WEST LEVEL 02 DECK)
 - FIBER CEMENT WALL PANELS, TYPE 03, (TYPICAL AT LEVELS 01 & 02, AT DRIVE THRU AND NORTH FACADE) (MANUFACTURER: NICHHA, TYPE: INDUSTRIAL BLOCK)
 - FIBER CEMENT WALL PANELS, TYPE 04, (TYPICAL AT EAST AND WEST ENDS, AT BUILDING PROJECTIONS) (MANUFACTURER: NICHHA, WOODTONE, RUSTIC SERIES (VERTICAL), COLOR: OLD CHERRY)
 - FIBER CEMENT WALL PANELS, TYPE 05, (TYPICAL AT LEVEL 06) (MANUFACTURER: NICHHA, WOODTONE, RUSTIC SERIES (HORIZONTAL), COLOR: OLD CHERRY)
 - FIBER CEMENT PANEL JOINT LOCATION
 - FORMED METAL WALL PANEL, TYPE 01, KINGSPAN, MATRIX 3.0(40%), 6.0(40%), 9.0(20%) (COLOR TBD BY ARCHITECT, LEVELS 03 TO 06)
 - FORMED METAL WALL PANEL, TYPE 02, KINGSPAN, MATRIX 6.0 (COLOR TO MATCH 10A, TYPICAL BETWEEN WINDOWS AT LEVEL 06)
 - FORMED METAL WALL PANEL JOINT LOCATION, MANUFACTURERS STANDARD PREFINISHED FORM
 - METAL COMPOSITE WALL PANELS, TYPE 05 - LAMINATORS, OMEGA LITE, COLOR: CLASSIC BRONZE (TYPICAL AT STAIR / ELEVATOR TOWERS AND BETWEEN DECKS AT LEVEL 06)
 - METAL COMPOSITE WALL PANELS, TYPE 06 - LAMINATORS, OMEGA LITE, COLOR: SLATE GREY (TYPICAL AT DECK FASCIA AND ROOF OVERHANG)
 - METAL COMPOSITE WALL PANELS, TYPE 07 - LAMINATORS, OMEGA LITE, COLOR: REGAL BLUE (ACCENT BAND, DRIVE THRU ENTRY)
 - ALUMINUM COMPOSITE PANEL JOINT LOCATION
 - WIRE MESH PANEL 08 - MONDICHOLS, WIRE MESH - SQUARE, COLOR: GLAZIENED
 - BUILDING SIGNAGE, COORDINATE WITH ELECTRICAL
 - EXTERIOR LIGHTING, COORDINATE WITH ELECTRICAL
 - BUILDING SIGNAGE, COORDINATE WITH ELECTRICAL
 - DOOR OPERATOR CONTROL, COORDINATE WITH ELECTRICAL
 - CARD ACCESS CONTROL, COORDINATE WITH ELECTRICAL
 - EXHAUST AIR LOUVER, COORDINATE WITH MECHANICAL
 - ROOF SCUPPER, THROUGH-WALL OVERFLOW DRAIN WITH METAL SPOUT EXTENSION AND METAL TRIM, COORDINATE WITH ROOF PLAN, CENTER IN BUILDING ELEMENT, 2' ABOVE PRIMARY DRAIN
 - DRAINAGE SCUPPER, THROUGH-WALL, TYPICAL AT EACH DECK AT LEVEL 03, CENTER IN RECESSED DECK AREA
 - METAL ROOF COPING, TYPICAL AT ALL ROOF PARAPETS, COLOR SELECTIONS SUBJECT TO CHANGE ABOVE THE DIFFERENT FACADE FINISHES
 - ALUMINUM TRELLIS SYSTEM, ALT-04 (TYPICAL AT NORTH FACADE DECKS, LEVEL 03)
 - FLAT BAR CABLE RAILING (TYPICAL AT LEVEL 02, NORTH SIDE)
 - RESIDENTIAL ALUMINUM RAILING SYSTEM, TYPICAL AT LEVEL 06

ICON ARCHITECTURAL GROUP
4000 GARDEN VIEW DRIVE
SUITE 101
GRAND FORKS, ND 58201
P: 701.772.4366 | F: 701.772.4275
www.ICONarchitects.com

STRUCTURAL
Heyer Engineering
1020 36th St. SW - Suite A
Fargo, ND 58103
(701) 280.0949 Office
www.heyereengineering.com

MECHANICAL
Precision
Plumbing Electrical Heating Cooling
1935 4th Ave NW
West Fargo, ND 58078
(701) 283.1753 Office

ELECTRICAL
Magnum Electric Inc.
471 Christensen Drive W
West Fargo, ND 58078
(701) 551.3240 Office

CIVIL
MBN Engineering, INC.
503 7th Street North, Suite 200
Fargo, ND 58102
(701) 478.6336 Office
(701) 478.6340 Fax

CONSTRUCTION MANAGER
Gehrts Construction Services
510 4th Ave N
Fargo, ND 58102
(701) 297.0704 Office
(701) 280.9021 Fax
info@gbarch.com

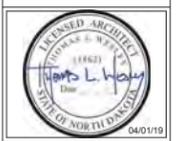


SHEYENNE 32 - SOUTH BUILDING
Sheyenne St & 32nd Ave S
West Fargo, ND 58078

Drawing History

No.	Description	Date
1	Construction Documents	04/01/19

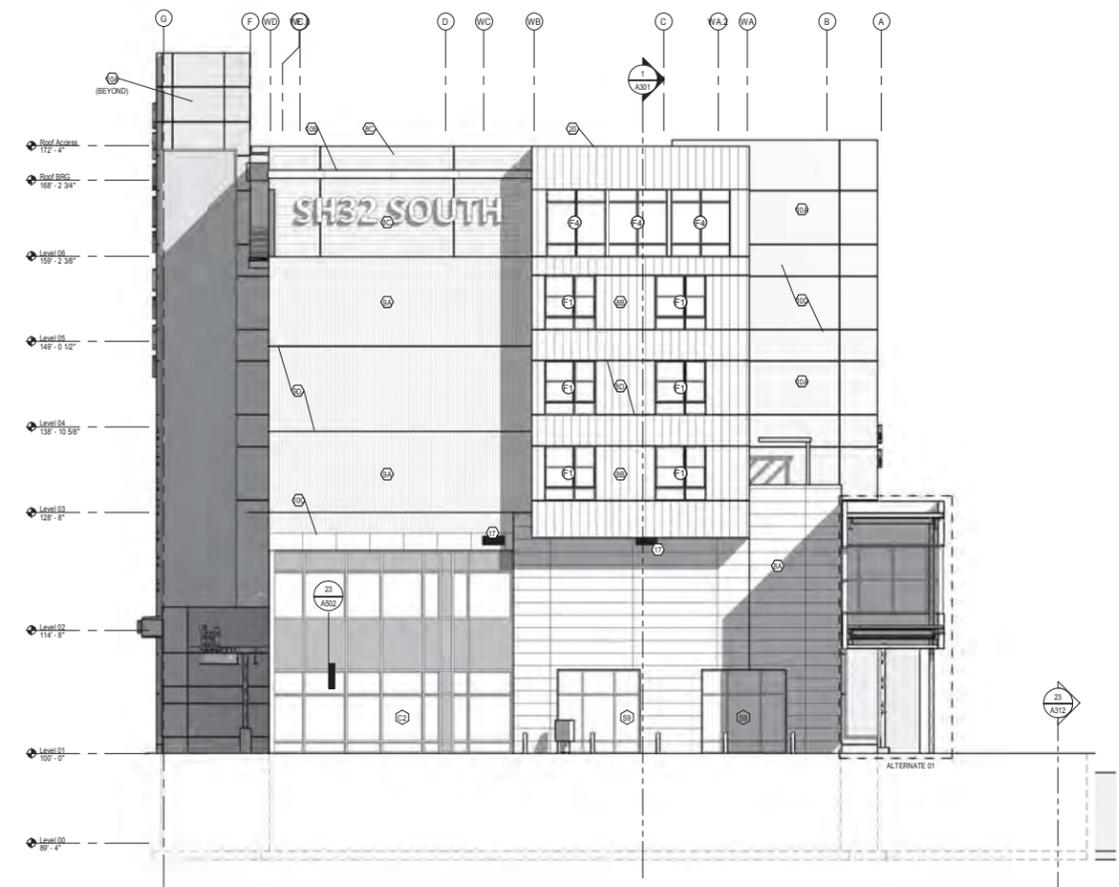
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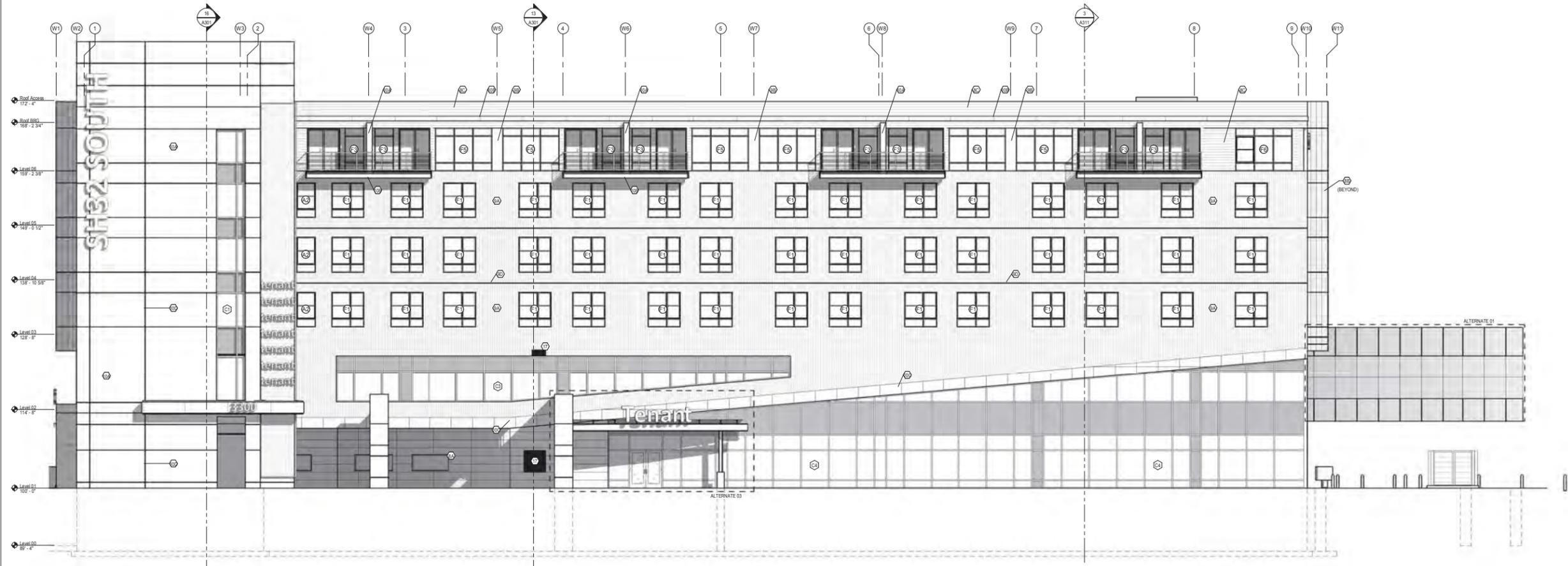
EXTERIOR ELEVATIONS
SHEET
A201

BIM 360/IT 7-052 Sheyenne 32 - South 17-052 Sheyenne 32 South.rvt

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13 East Elevation
1/8" = 1'-0"



14 South Elevation
1/8" = 1'-0"

ALTERNATES:
SEE SPECIFICATION SECTION 012200 - ALTERNATES FOR DETAILED DESCRIPTION OF WORK SCOPE TO BE INCLUDED SEPARATELY AS ALTERNATES.
ALTERNATE 01 - SKYWAY
ALTERNATE 02A - TENANT CANOPY (SOUTH)
ALTERNATE 02B - TENANT CANOPY (WEST)
ALTERNATE 04 - TRELLIS SYSTEM

- KEYNOTES - ELEVATIONS:**
- 1 RAIN LEADER DISCHARGE FOR SECONDARY / OVERFLOW DRAIN
 - 2 NOT USED
 - 3 BOLLARD, SEE SITE PLAN
 - 4 EXTERIOR DOOR, SEE FLOOR PLANS AND SCHEDULES FOR MORE INFORMATION
 - 5 METAL ROOF CAP, TYPICAL AT ALL PARAPETS ABOVE FLAT ROOF DECKS
 - 6 TREX DECKING, DECK STRUCTURE, DECK RAILING, COORDINATE TYPE AND SYSTEM WITH DETAILS (TYPICAL AT RESIDENTIAL UNITS)
 - 7 METAL TUBE / FLAT BAR RAILING W/ CABLES, COORDINATE WITH DETAILS (TYPICAL AT WEST LEVEL 02 DECK)
 - 8 FIBER CEMENT WALL PANELS, TYPE 03 (TYPICAL AT LEVELS 01 & 02, AT DRIVE THRU AND NORTH FACADE) (MANUFACTURER: NICHHA, TYPE: INDUSTRIAL BLOCK)
 - 9 FIBER CEMENT WALL PANELS, TYPE 04 (TYPICAL AT EAST AND WEST ENDS, AT BUILDING PROJECTIONS) (MANUFACTURER: NICHHA, WOODSTONE, RUSTIC SERIES (VERTICAL), COLOR: OLD CHERRY)
 - 10 FIBER CEMENT WALL PANELS, TYPE 05 (TYPICAL AT LEVEL 06) (MANUFACTURER: NICHHA, WOODSTONE, RUSTIC SERIES (HORIZONTAL), COLOR: OLD CHERRY)
 - 11 FIBER CEMENT PANEL JOINT LOCATION
 - 12 FORMED METAL WALL PANEL, TYPE 01, KINGSPAN MATRIX 3.0(40%), 6.0(40%), 9.0(20%), (COLOR TBD BY ARCHITECT, LEVELS 03 TO 06)
 - 13 FORMED METAL WALL PANEL, TYPE 02, KINGSPAN MATRIX 6.0 (COLOR TO MATCH 19A, TYPICAL BETWEEN WINDOWS AT LEVEL 06)
 - 14 FORMED METAL WALL PANEL JOINT LOCATION, MANUFACTURER'S STANDARD PREFINISHED TRIM
 - 15 METAL COMPOSITE WALL PANELS, TYPE 05 - LAMINATORS, OMEGA LITE, COLOR: CLASSIC BRONZE (TYPICAL AT STAIR/ELEVATOR TOWERS AND BETWEEN DECKS AT LEVEL 06)
 - 16 METAL COMPOSITE WALL PANELS, TYPE 06 - LAMINATORS, OMEGA LITE, COLOR: SLATE GREY (TYPICAL AT DECK FASCIA AND ROOF OVERHANG)
 - 17 METAL COMPOSITE WALL PANELS, TYPE 07 - LAMINATORS, OMEGA LITE, COLOR: REGAL BLUE (ACCENT BAND, DRIVE THRU ENTRY)
 - 18 ALUMINUM COMPOSITE PANEL JOINT LOCATION
 - 19 WIRE MESH PANEL 08 - MONCHOLS, WIRE MESH - SQUARE, COLOR: GLAVANIZED
 - 20 BUILDING SIGNAGE, COORDINATE WITH ELECTRICAL
 - 21 EXTERIOR LIGHTING, COORDINATE WITH ELECTRICAL
 - 22 BUILDING SIGNAGE, COORDINATE WITH ELECTRICAL
 - 23 DOOR OPERATOR CONTROL, COORDINATE WITH ELECTRICAL
 - 24 CARD ACCESS CONTROL, COORDINATE WITH ELECTRICAL
 - 25 EXHAUST AIR LOUVER, COORDINATE WITH MECHANICAL
 - 26 ROOF SCUPPER, THROUGH WALL OVERFLOW DRAIN WITH METAL SPOUT EXTENSION AND METAL TRIM, COORDINATE WITH ROOF PLAN, CENTER IN BUILDING ELEMENT, 2" ABOVE PRIMARY DRAIN
 - 27 DRAINAGE SCUPPER, THROUGH WALL, TYPICAL AT EACH DECK AT LEVEL 03, CENTER IN RECESSED DECK AREA
 - 28 METAL ROOF COPING, TYPICAL AT ALL ROOF PARAPETS, COLOR SELECTIONS SUBJECT TO CHANGE ABOVE THE DIFFERENT FACADE FINISHES
 - 29 ALUMINUM TRELLIS SYSTEM, ALT-04 (TYPICAL AT NORTH FACADE DECKS, LEVEL 03)
 - 30 FLAT BAR CABLE RAILING (TYPICAL AT LEVEL 02, NORTH SIDE)
 - 31 RESIDENTIAL ALUMINUM RAILING SYSTEM, TYPICAL AT LEVEL 06

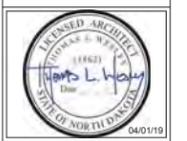
SHEYENNE 32 - SOUTH BUILDING

Sheyenne St & 32nd Ave S
West Fargo, ND 58078

Drawing History

No.	Description	Date
1	Construction Documents	04/01/19

DRAWN BY: SD/MCM JN: 17-052



EXTERIOR ELEVATIONS

SHEET
A202

BIM 360/IT 052 Sheyenne 32 - South 17.02 Sheyenne 32 South.rvt

4/20/19 2:32:50 PM



www.westfargond.gov

Tim Solberg, AICP, Director of Planning and Zoning
Lisa Sankey, Planner

- Memorandum -

TO: West Fargo City Commission

FROM: Tim Solberg, AICP, Director of Planning and Zoning

RE: Request to approve access locations on 9th St NE, a Collector Roadway and to recommend to the North Dakota Department of Transportation (ND DOT) access to Main Avenue East

DATE: May 16, 2019

A request for access to 9th Street Northeast and a recommendation to the ND DOT for access to Main Avenue East has been received from Olaf Anderson representing 9th & Main LLC at Forum Communications First Addition. 9th Street Northeast is identified as a Minor Arterial and Main Avenue East is identified as a Principal Arterial on the City's functional classification system. Section 2-0119 of City Ordinances states that access to designated collector or arterial streets should be via a local street system. It further goes on to state: "In instances where this cannot be achieved, approval must first be obtained by the City Commission following review by the Planning and Zoning Commission." Guidance for approval comes from the City's subdivision regulations which require a minimum spacing along arterial or collector streets of 660 feet in less developed areas with the addition that "a traffic analysis may be required to ensure adequate and safe traffic operations".

The City has been provided with a traffic analysis conducted by KLJ Engineering which concludes that the proposed access on Main Avenue East and 9th Street Northeast "meet minimum access spacing guidelines".

9th & Main LLC proposes three separate full access locations at 9th Street Northeast. Due to distances from Main Avenue to the south, and the railroad to the north, the Public Works Director has recommended to allow for one midpoint access at 9th Street Northeast.

9th & Main LLC is seeking a recommendation from the City for two restricted right in/right out access locations at Main Avenue East. No comments have been received to date on this request.

A copy of a required Traffic Impact Analysis has been attached to the memo. At their May 14, 2019 Meeting, the Planning and Zoning Commission reviewed the application. The City Engineer recommended eliminating the north approach to 9th St NE and adjust the south approach to 9th St NE out of the functional area of the 9th and Main intersection and then adjust the two remaining approaches to meet the spacing of developed areas at 330 feet. Concern on geometry of the access locations at Main Avenue and proximity to the eastbound left turn lane was expressed and it was recommended to review this prior to recommendation to the ND DOT.

Recommendations to the applicant on the 9th St NE access were not accepted by the applicant at the meeting.

The Planning Commission recommends to deny the application. It was generally considered acceptable to the City Engineer, Planning Commission, and myself that it would be acceptable if the applicant can move out of the functional area of the 9th and Main intersection and then adjust the two remaining approaches to meet the spacing of developed areas at 330 feet. The access locations on Main Avenue should be moved to safely operate outside of any eastbound left turning movements and geometry should be reviewed by the City Engineer and ND DOT.

(1) Attachment

TPS



370 Wabasha Street, Suite 300
Saint Paul, MN 55102-1323
651 222 2176
KLJENG.COM

Memorandum

Date: 5/13/2019
To: Troy Mallow, Olaf Anderson Construction
From: John Crawford, PE (MN), PTOE; Joe Devore, PE (ND), PTOE; and Oz Khan, EIT
RE: Traffic Impact Analysis – 9th Street & Main Avenue Business Park

Introduction

This memorandum summarizes the traffic impact analysis conducted for the proposed business in West Fargo, ND. This document includes a project description, trip generation estimate, trip distribution and assignment, build and no-build traffic volumes, and operation analysis at the impacted intersection.

Project Description

The project site is located on in the north-west quadrant of the Main Avenue East and 9th Street intersection of West Fargo, ND (**Figure 1**). The proposed business park includes the development of two warehouses (about 202,500 sf and 195,750 sf) and six potential office/shops (about 126,000 sf) on a site that is currently vacant.

Vehicular access at the site is proposed at five locations: three full access locations on 9th Street NE; and two right out only access locations on Main Avenue East. Project buildout is expected in 2019.

Traffic Operations

The intersection of Main Avenue E and 9th Street NE is currently signal controlled. Main Avenue E is a four-lane divided roadway and 9th Street NE is a two-lane undivided roadway. Weekday AM and PM peak hour traffic volumes at the intersection were collected on March 12, 2019 and are illustrated in **Figure 1**.

Traffic Operations Methodology

Traffic operational analysis results are described as a Level of Service (LOS) ranging from "A to F" with "A" operating with the least delay and "F" indicating a breakdown in operations. LOS is determined based on methodology in the Highway Capacity Manual (HCM), which defines the LOS based on control delay. The average intersection control delay is a volume weighted average of delay experienced by all motorists entering the intersections on all approaches. The LOS and its associated intersection delay for unsignalized and signalized intersections as defined by HCM are shown in **Table 1**.

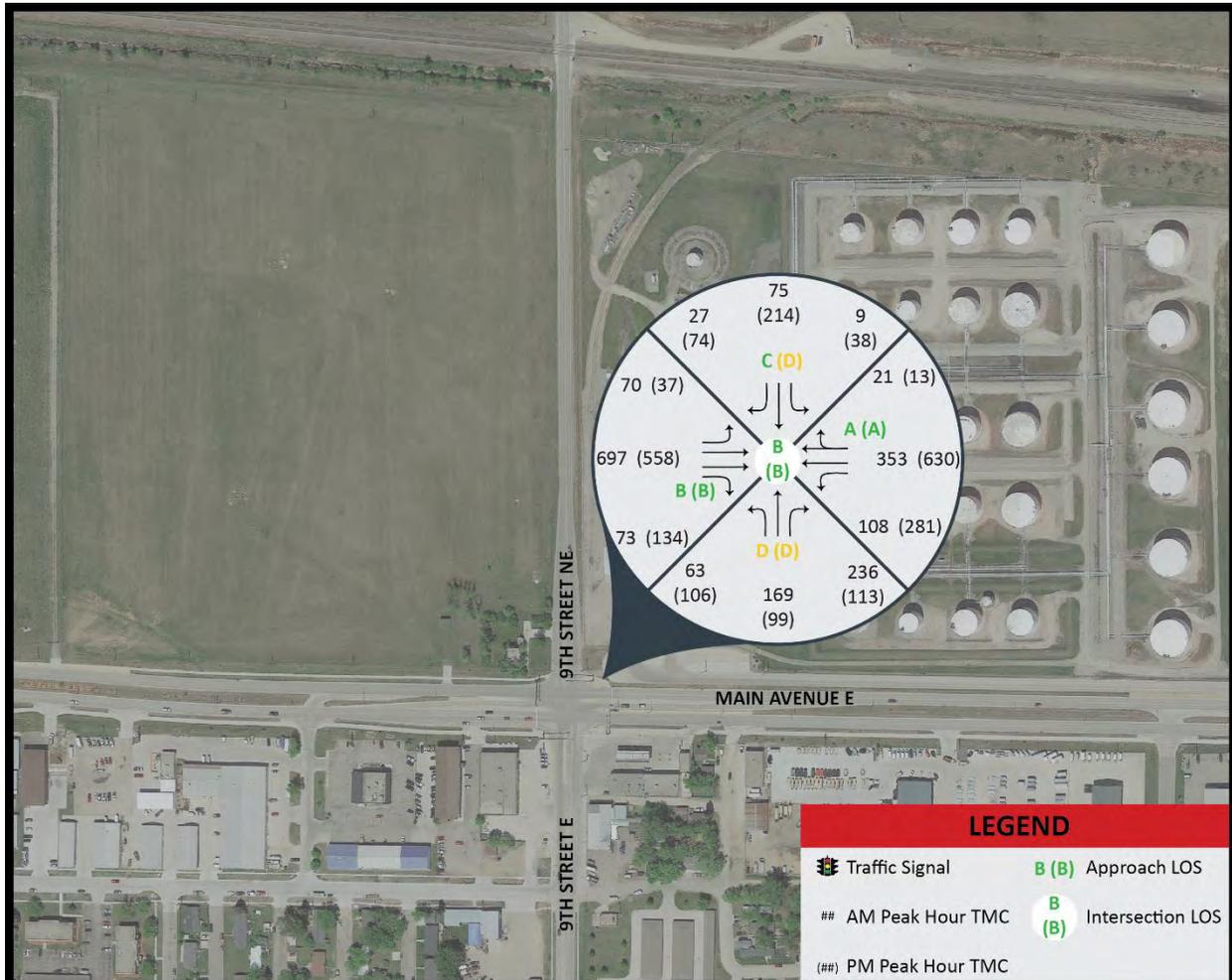


Figure 1: Traffic Conditions for No-Build Scenario

Table 1- Delay and Level of Service (LOS) thresholds as defined by HCM

Level of Service (LOS)	Average Delay (seconds/vehicle)	
	Signalized Intersection	Unsignalized Intersection
A	≤ 10	≤ 10
B	> 10 and ≤ 20	> 10 and ≤ 15
C	> 20 and ≤ 35	> 15 and ≤ 25
D	> 35 and ≤ 55	> 25 and ≤ 35
E	> 55 and ≤ 80	> 35 and ≤ 50
F	> 80	> 50

Traffic Models

Traffic operations analysis was completed using Synchro V9 software and the existing signal phase timings were input to the models. The results of the synchro analysis are displayed as measures of effectiveness (MOE). The primary MOEs that are used in the study are delay, level of service (LOS) and 95th percentile queuing.

The following scenarios were modeled for the AM and PM peak periods:

1. Existing No-Build Scenario – “No-Build” refers to the existing conditions without the proposed development scenario. This option includes no geometric improvements at the intersection and the existing traffic counts collected at the intersection in March 2019.
2. Future Build Scenario – “Build” refers to existing conditions with the proposed development scenario. This option includes no geometric improvements at the intersection, retainment of the existing signal timings, proposed two right out accesses on the west approach, and proposed three full accesses on the north approach. The trips generated by the development were added to the existing traffic counts collected.

Trip Generation and Assignment

To account for the trips to be generated by the proposed development, *ITE Trip Generation Manual*, Edition 9 was utilized to calculate trips generated based on the land use characteristics that most closely fit the proposed business park. **Table 2** estimates the total trips to be generated by the development.

Table 2- Trip Generation Summary

Land Use	ITE Code	Size (ksf)	Trips Generated			
			AM		PM	
			In	Out	In	Out
Warehouse # 1	150 (Warehouse)	202.50	29	16	12	37
Warehouse # 2	150 (Warehouse)	195.75	28	15	11	36
General Office	710 (General Office Building)	126.00	163	22	32	147
TOTAL		524.25	220	53	55	220

During the AM peak hour, the development is projected to generate 220 vehicles entering and 53 vehicles leaving the site. During the PM peak hour, the development is projected to generate 55 vehicles entering and 220 vehicles leaving the site.

The project-generated traffic for the development at the study intersection was assigned based on engineering judgement of anticipated travel patterns in the vicinity area. All truck trips were assigned at the 9th Street NE accesses. The trip generation and trip assignment of AM and PM peak hour trips generated by the proposed development is illustrated in **Figure 2**.

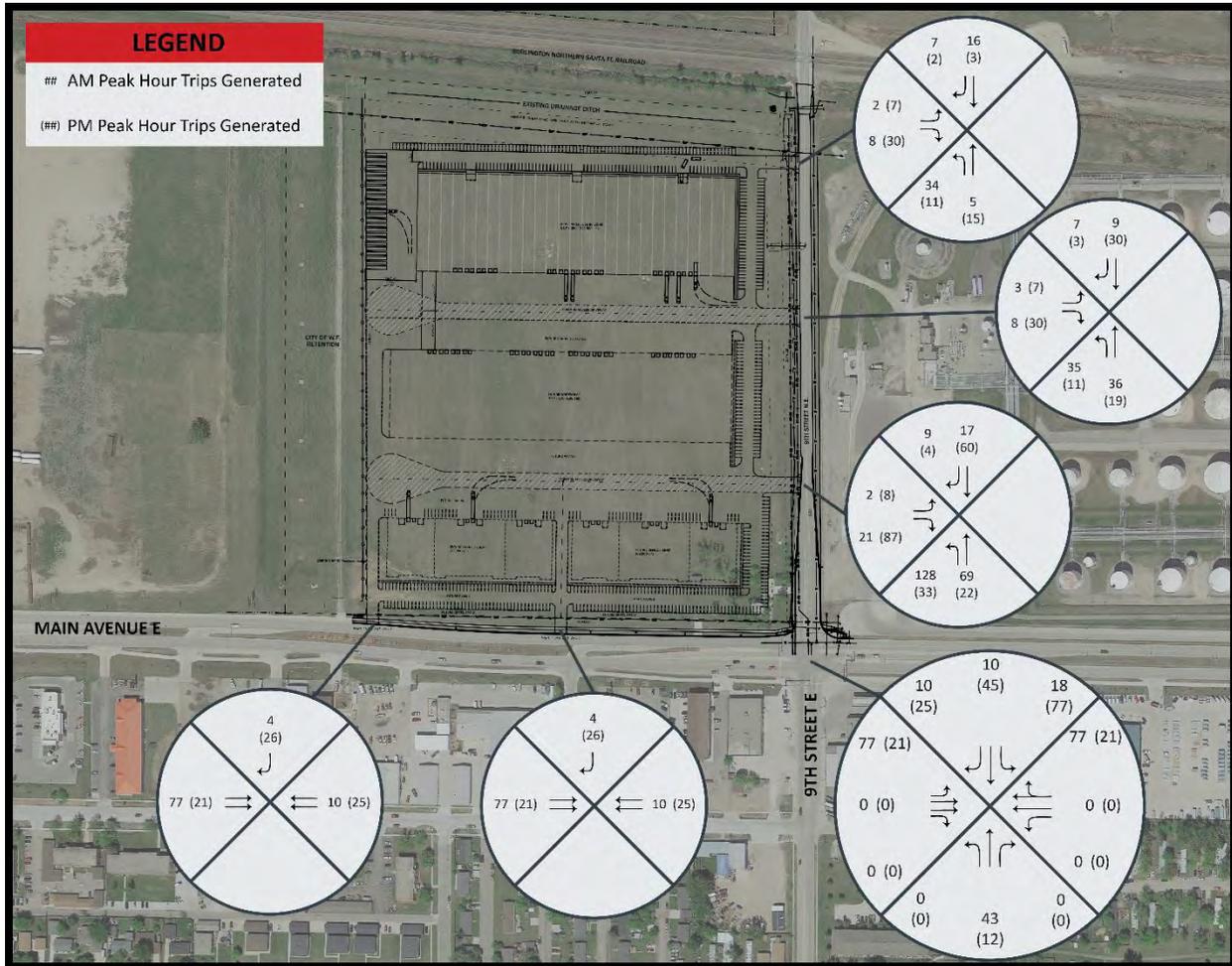


Figure 2- Net Site Trip Generation and Assignment for Build Scenario

Future traffic volumes with the proposed development during the AM and PM peak volumes are illustrated in **Figure 3**.

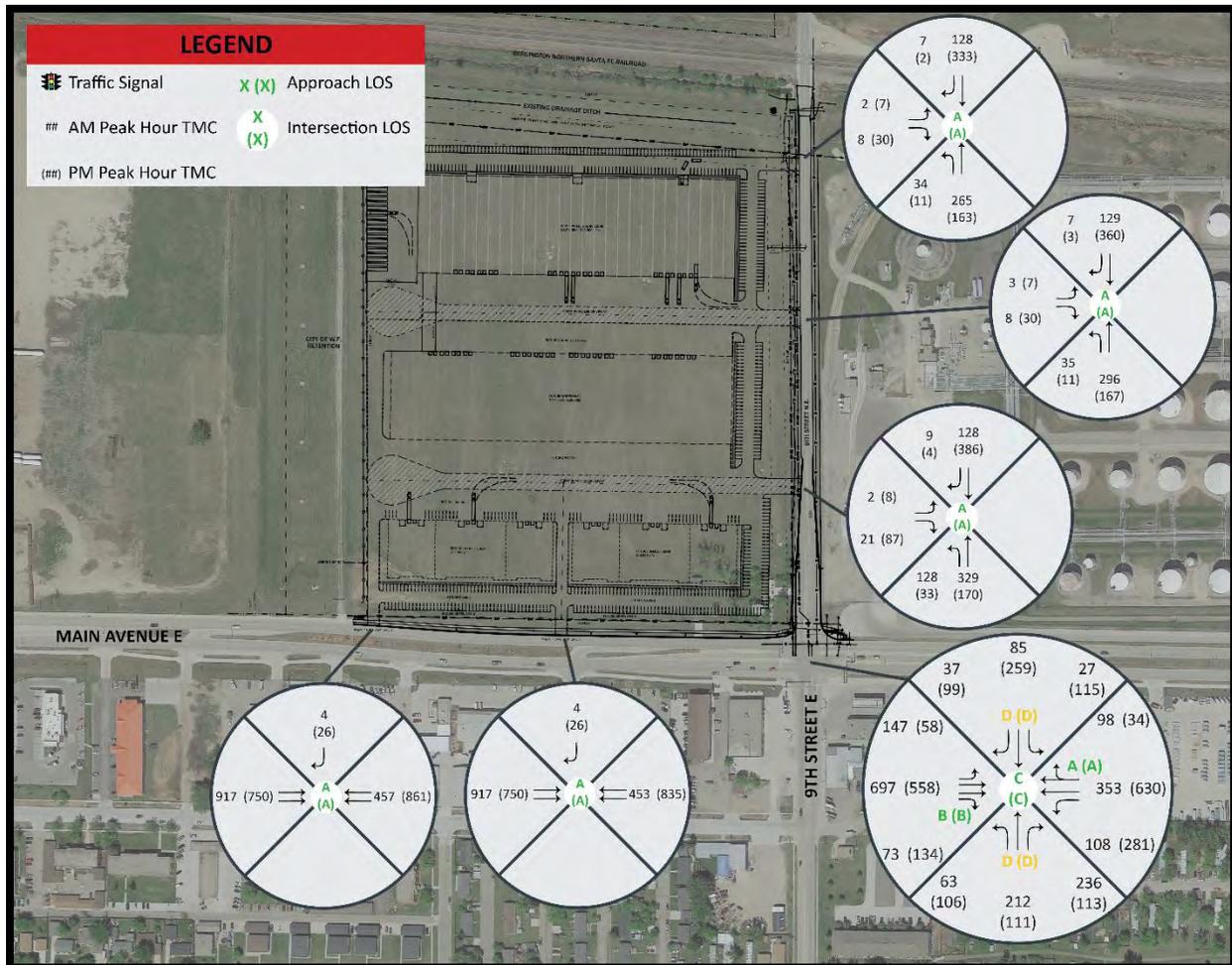


Figure 3- Traffic Conditions for Build Scenario

Traffic Operation Results

The traffic operation results for the existing No-Build and future Build scenarios at the intersection of Main Avenue E and 9th Street NE are illustrated in **Figure 1** and **Figure 3** respectively. The intersection operates at an acceptable condition with LOS B during the peaks for No-Build Scenario. The south approach of the intersection operates at LOS D during the peaks. The projected traffic volume of the Build scenario increases the intersection delay by 4-seconds and 3-seconds during AM and PM peaks respectively and changes the intersection operation to LOS C. The accesses operated at an acceptable condition. No significant queuing was identified in the Build and No-Build scenario.

Access Spacings

Main Avenue E and 9th Street NE are classified as Principal and Minor Arterials respectively. The desired and minimum access spacing guidelines for arterial roadway access in a developing area are 660 feet (or eight accesses per mile) and 330 feet (or 16 accesses per mile) respectively as per the access management guidelines documented in City’s Planning and Zoning Ordinance.



The two proposed site accesses on Main Avenue E on the west approach are partial access (right-out only) and meet the minimum access spacing guidelines. The closest driveway to 9th Street NE intersection is 660 feet¹ and the spacings between the two driveway is 480 feet¹.

The three proposed site accesses on 9th Street NE on the north approach are full access (T-intersection) and meet the minimum access spacing guidelines. The closest driveway to Main Avenue E intersection is 360 feet¹ or 330 feet² and the spacings between the driveways are slightly over 450 feet¹ each.

Conclusion

This memorandum presents details of the existing intersection conditions on Main Avenue E and 9th Street NE intersection with and without the proposed development on the north-west quadrant. The intersection operates at LOS B in the existing No-Build condition. The developments would generate 273 vehicles in AM peak and 275 vehicles in PM peak. The trips generated by the development were assigned based on existing vehicular patterns and engineering judgement. The intersection operations for the proposed Build scenario is LOS C at the signalized intersection; however, the intersection delay increases by only 4-seconds and 3-seconds during the AM and PM peaks respectively. Overall, the traffic study indicates that intersection improvements due to traffic generated by the development would not be required in response to the proposed development.

All the proposed site accesses operate at acceptable condition with no access operating worse than LOS A. Based on using the access spacing standards for “developing areas”, which utilizes a minimum spacing of 330 feet, the current access request made by the developer on Main Avenue E and 9th Street NE meets the minimum access spacing guidelines.

¹ Measured from intersection centerline to driveway centerline.

² Measured from the ROW of adjacent intersection (Main Avenue E & 9th Street NE) to the closest curb of the driveway.



Attachment A – Traffic Volume Counts

Morning Peak Hour
9th Street & Main Ave Business Park
 West Fargo, ND



File Name : 0700-0900 9th_Main
 Site Code :
 Start Date : 3/13/2019
 Page No : 1

Groups Printed- Cars + - Trucks

Start Time	9th From North					Main From East					9th From South					Main From West					Int. Total
	Right	Thru	Left	UTrn	Peds	Right	Thru	Left	UTrn	Peds	Right	Thru	Left	UTrn	Peds	Right	Thru	Left	UTrn	Peds	
07:00 AM	4	10	5	0	0	3	62	16	0	0	34	31	17	0	0	17	98	8	0	0	305
07:15 AM	6	7	3	0	0	7	68	24	0	0	39	40	11	0	0	24	153	14	0	0	396
07:30 AM	5	15	2	0	0	4	87	21	0	0	65	39	13	0	0	16	188	15	0	0	470
07:45 AM	8	26	1	0	0	8	119	39	0	0	81	50	19	0	0	13	211	22	0	0	597
Total	23	58	11	0	0	22	336	100	0	0	219	160	60	0	0	70	650	59	0	0	1768
08:00 AM	8	27	3	0	0	2	79	24	0	0	51	40	20	0	0	20	145	19	0	0	438
08:15 AM	2	23	0	0	0	1	63	16	0	0	25	26	13	0	0	30	106	6	0	0	311
08:30 AM	9	19	1	0	0	6	60	21	0	0	20	20	11	0	0	37	104	3	0	0	311
08:45 AM	3	15	2	0	0	4	70	23	0	0	23	16	22	0	0	22	83	8	0	0	291
Total	22	84	6	0	0	13	272	84	0	0	119	102	66	0	0	109	438	36	0	0	1351
09:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Grand Total	45	142	17	0	0	35	608	184	0	0	338	262	126	0	0	179	1088	95	0	0	3119
Apprch %	22.1	69.6	8.3	0	0	4.2	73.5	22.2	0	0	46.6	36.1	17.4	0	0	13.1	79.9	7	0	0	
Total %	1.4	4.6	0.5	0	0	1.1	19.5	5.9	0	0	10.8	8.4	4	0	0	5.7	34.9	3	0	0	
Cars +	40	138	16	0	0	32	565	176	0	0	336	261	123	0	0	175	1032	92	0	0	2986
% Cars +	88.9	97.2	94.1	0	0	91.4	92.9	95.7	0	0	99.4	99.6	97.6	0	0	97.8	94.9	96.8	0	0	95.7
Trucks	5	4	1	0	0	3	43	8	0	0	2	1	3	0	0	4	56	3	0	0	133
% Trucks	11.1	2.8	5.9	0	0	8.6	7.1	4.3	0	0	0.6	0.4	2.4	0	0	2.2	5.1	3.2	0	0	4.3

Morning Peak Hour

9th Street & Main Ave Business Park

West Fargo, ND



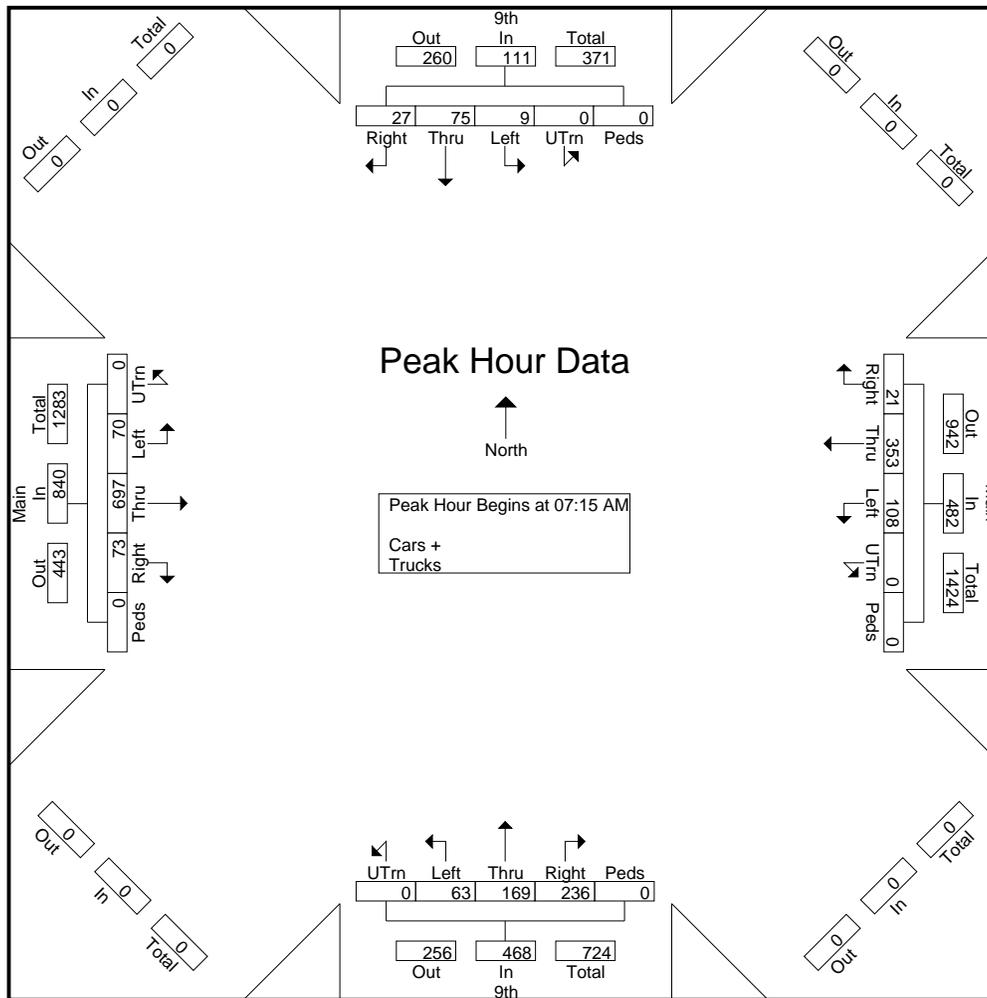
File Name : 0700-0900 9th_Main
 Site Code :
 Start Date : 3/13/2019
 Page No : 2

Start Time	9th From North						Main From East						9th From South						Main From West						Int. Total
	Right	Thru	Left	UTrn	Peds	App. Total	Right	Thru	Left	UTrn	Peds	App. Total	Right	Thru	Left	UTrn	Peds	App. Total	Right	Thru	Left	UTrn	Peds	App. Total	
Peak Hour Analysis From 07:00 AM to 09:00 AM - Peak 1 of 1																									
Peak Hour for Entire Intersection Begins at 07:15 AM																									
07:15 AM	6	7	3	0	0	16	7	68	24	0	0	99	39	40	11	0	0	90	24	153	14	0	0	191	396
07:30 AM	5	15	2	0	0	22	4	87	21	0	0	112	65	39	13	0	0	117	16	188	15	0	0	219	470
07:45 AM	8	26	1	0	0	35	8	119	39	0	0	166	81	50	19	0	0	150	13	211	22	0	0	246	597
08:00 AM	8	27	3	0	0	38	2	79	24	0	0	105	51	40	20	0	0	111	20	145	19	0	0	184	438
Total Volume	27	75	9	0	0	111	21	353	108	0	0	482	236	169	63	0	0	468	73	697	70	0	0	840	1901
% App. Total	24.3	67.6	8.1	0	0		4.4	73.2	22.4	0	0		50.4	36.1	13.5	0	0		8.7	83	8.3	0	0		
PHF	.844	.694	.750	.000	.000	.730	.656	.742	.692	.000	.000	.726	.728	.845	.788	.000	.000	.780	.760	.826	.795	.000	.000	.854	.796

Morning Peak Hour
9th Street & Main Ave Business Park
 West Fargo, ND



File Name : 0700-0900 9th_Main
 Site Code :
 Start Date : 3/13/2019
 Page No : 3



Evening Peak Hour

9th Street & Main Ave Business Park



File Name : 1600-1800_9th_Main
 Site Code :
 Start Date : 3/12/2019
 Page No : 1

Groups Printed- Cars + - Trucks

Start Time	9th From North					Main From East					9th From South					Main From West					Int. Total
	Right	Thru	Left	UTrn	Peds	Right	Thru	Left	UTrn	Peds	Right	Thru	Left	UTrn	Peds	Right	Thru	Left	UTrn	Peds	
04:00 PM	32	49	9	0	0	2	126	32	0	0	29	20	24	0	0	27	127	7	0	0	484
04:15 PM	11	38	10	0	0	3	127	45	0	0	26	33	23	0	0	23	99	7	0	0	445
04:30 PM	9	53	7	0	0	0	148	73	0	0	24	18	30	0	0	33	143	6	0	0	544
04:45 PM	12	59	11	0	0	7	156	61	0	0	25	18	28	0	0	25	136	10	0	0	548
Total	64	199	37	0	0	12	557	211	0	0	104	89	105	0	0	108	505	30	0	0	2021
05:00 PM	25	58	12	0	0	1	172	74	0	0	28	33	17	0	0	41	138	10	0	0	609
05:15 PM	28	44	8	0	0	5	154	73	0	0	36	30	31	0	0	35	141	11	0	0	596
05:30 PM	9	48	6	0	0	2	133	54	0	0	33	26	23	0	0	20	107	10	0	0	471
05:45 PM	3	33	4	0	0	4	91	32	0	0	24	27	23	0	0	18	78	5	0	0	342
Total	65	183	30	0	0	12	550	233	0	0	121	116	94	0	0	114	464	36	0	0	2018
06:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	0	0	2
Grand Total	129	382	67	0	0	24	1107	444	0	0	225	205	199	0	0	222	971	66	0	0	4041
Apprch %	22.3	66.1	11.6	0	0	1.5	70.3	28.2	0	0	35.8	32.6	31.6	0	0	17.6	77.1	5.2	0	0	
Total %	3.2	9.5	1.7	0	0	0.6	27.4	11	0	0	5.6	5.1	4.9	0	0	5.5	24	1.6	0	0	
Cars +	122	379	60	0	0	20	1035	440	0	0	219	191	195	0	0	221	907	59	0	0	3848
% Cars +	94.6	99.2	89.6	0	0	83.3	93.5	99.1	0	0	97.3	93.2	98	0	0	99.5	93.4	89.4	0	0	95.2
Trucks	7	3	7	0	0	4	72	4	0	0	6	14	4	0	0	1	64	7	0	0	193
% Trucks	5.4	0.8	10.4	0	0	16.7	6.5	0.9	0	0	2.7	6.8	2	0	0	0.5	6.6	10.6	0	0	4.8

Evening Peak Hour

9th Street & Main Ave Business Park



File Name : 1600-1800_9th_Main
 Site Code :
 Start Date : 3/12/2019
 Page No : 2

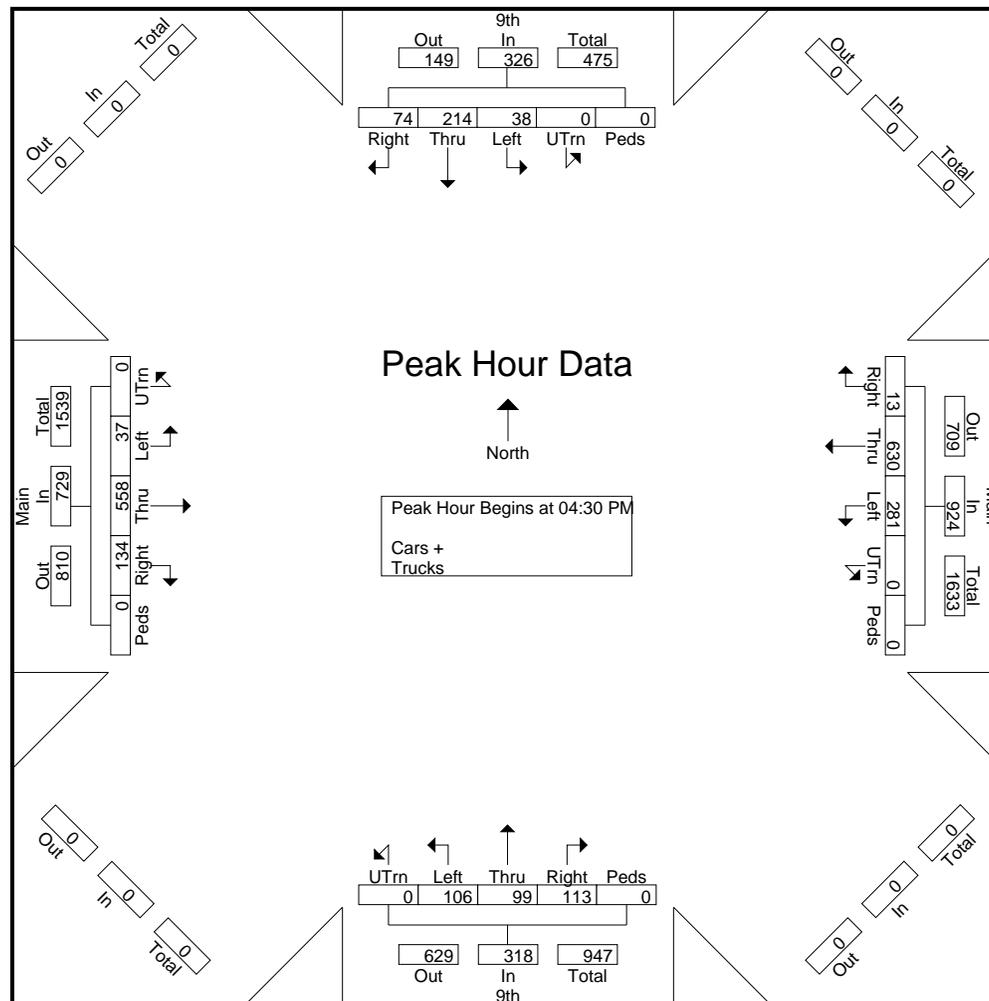
Start Time	9th From North						Main From East						9th From South						Main From West						Int. Total		
	Right	Thru	Left	UTrn	Peds	App. Total	Right	Thru	Left	UTrn	Peds	App. Total	Right	Thru	Left	UTrn	Peds	App. Total	Right	Thru	Left	UTrn	Peds	App. Total			
Peak Hour Analysis From 04:00 PM to 06:00 PM - Peak 1 of 1																											
Peak Hour for Entire Intersection Begins at 04:30 PM																											
04:30 PM	9	53	7	0	0	69	0	148	73	0	0	221	24	18	30	0	0	72	33	143							
04:45 PM	12	59	11	0	0	82	7	156	61	0	0	224	25	18	28	0	0	71	25	136	10	0	0	171			548
05:00 PM	25	58	12			95	1	172	74			247	28	33					41	138	10	0	0	189			609
05:15 PM	28	44	8	0	0	80	5	154	73	0	0	232	36	30	31			97	35	141	11						
Total Volume	74	214	38	0	0	326	13	630	281	0	0	924	113	99	106	0	0	318	134	558	37	0	0	729			2297
% App. Total	22.7	65.6	11.7	0	0		1.4	68.2	30.4	0	0		35.5	31.1	33.3	0	0		18.4	76.5	5.1	0	0				
PHF	.661	.907	.792	.000	.000	.858	.464	.916	.949	.000	.000	.935	.785	.750	.855	.000	.000	.820	.817	.976	.841	.000	.000	.964			.943

Evening Peak Hour

9th Street & Main Ave Business Park



File Name : 1600-1800_9th_Main
 Site Code :
 Start Date : 3/12/2019
 Page No : 3





Attachment B – Synchro Report

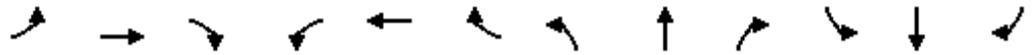
Intersection - Main Avenue E & 9th Street NE

2019 NO-Build (AM Peak)

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	70	697	73	108	353	21	63	169	236	9	75	27
Future Volume (vph)	70	697	73	108	353	21	63	169	236	9	75	27
Ideal Flow (vphp)	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825
Storage Length (ft)	290		250	400		0	215		315	200		120
Storage Lanes	1		1	1		0	1		1	1		1
Taper Length (ft)	170			175			50			100		
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	0.95	1.00	1.00	1.00	1.00	1.00	1.00
Frt			0.850		0.992				0.850			0.850
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1683	3334	1492	1666	3339	0	1700	1807	1551	1734	1755	1492
Flt Permitted	0.484			0.257			0.696			0.416		
Satd. Flow (perm)	858	3334	1492	451	3339	0	1245	1807	1551	759	1755	1492
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			109		15				255			105
Link Speed (mph)		42			45			36				25
Link Distance (ft)		2129			1410			717				1007
Travel Time (s)		34.6			21.4			13.6				27.5
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80
Heavy Vehicles (%)	3%	4%	4%	2%	2%	2%	2%	1%	0%	0%	4%	4%
Bus Blockages (#/hr)	0	0	0	5	5	5	0	0	0	0	0	0
Adj. Flow (vph)	88	871	91	135	441	26	79	211	295	11	94	34
Shared Lane Traffic (%)												
Lane Group Flow (vph)	88	871	91	135	467	0	79	211	295	11	94	34
Enter Blocked Intersection	No	No	No	No	No	No						
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		30			30			12				12
Link Offset(ft)		0			0			0				0
Crosswalk Width(ft)		48			40			30				30
Two way Left Turn Lane								Yes				
Headway Factor	1.05	1.05	1.05	1.08	1.07	1.05	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	2	1	1	2		1	2	1	1	2	1
Detector Template	Left	Thru	Right	Left	Thru		Left	Thru	Right	Left	Thru	Right
Leading Detector (ft)	20	100	20	20	100		20	100	20	20	100	20
Trailing Detector (ft)	0	0	0	0	0		0	0	0	0	0	0
Detector 1 Position(ft)	0	0	0	0	0		0	0	0	0	0	0
Detector 1 Size(ft)	20	6	20	20	6		20	6	20	20	6	20
Detector 1 Type	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 1 Queue (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 1 Delay (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 2 Position(ft)		94			94			94				94
Detector 2 Size(ft)		6			6			6				6
Detector 2 Type		Cl+Ex			Cl+Ex			Cl+Ex				Cl+Ex
Detector 2 Channel												
Detector 2 Extend (s)		0.0			0.0			0.0				0.0
Turn Type	Perm	NA	Perm	pm+pt	NA		Perm	NA	Perm	Perm	NA	Perm

Intersection - Main Avenue E & 9th Street NE

2019 NO-Build (AM Peak)



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Protected Phases		2		1	6			4			8	
Permitted Phases	2		2	6			4		4	8		8
Detector Phase	2	2	2	1	6		4	4	4	8	8	8
Switch Phase												
Minimum Initial (s)	15.0	15.0	15.0	5.0	15.0		7.0	7.0	7.0	7.0	7.0	7.0
Minimum Split (s)	39.0	39.0	39.0	11.1	32.5		13.6	13.6	13.6	13.9	13.9	13.9
Total Split (s)	65.0	65.0	65.0	13.0	78.0		22.0	22.0	22.0	22.0	22.0	22.0
Total Split (%)	65.0%	65.0%	65.0%	13.0%	78.0%		22.0%	22.0%	22.0%	22.0%	22.0%	22.0%
Maximum Green (s)	59.0	59.0	59.0	6.9	71.5		15.4	15.4	15.4	15.1	15.1	15.1
Yellow Time (s)	3.9	3.9	3.9	3.0	3.9		3.0	3.0	3.0	3.0	3.0	3.0
All-Red Time (s)	2.1	2.1	2.1	3.1	2.6		3.6	3.6	3.6	3.9	3.9	3.9
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.1	6.5		6.6	6.6	6.6	6.9	6.9	6.9
Lead/Lag	Lag	Lag	Lag	Lead								
Lead-Lag Optimize?												
Vehicle Extension (s)	3.0	3.0	3.0	3.0	3.0		3.0	3.0	3.0	3.0	3.0	3.0
Recall Mode	C-Max	C-Max	C-Max	None	C-Max		None	None	None	None	None	None
Walk Time (s)	5.0	5.0	5.0		5.0		5.0	5.0	5.0			
Flash Dont Walk (s)	28.0	28.0	28.0		21.0		22.0	22.0	22.0			
Pedestrian Calls (#/hr)	0	0	0		0		0	0	0			
Act Effect Green (s)	60.0	60.0	60.0	72.8	72.4		14.5	14.5	14.5	14.2	14.2	14.2
Actuated g/C Ratio	0.60	0.60	0.60	0.73	0.72		0.14	0.14	0.14	0.14	0.14	0.14
v/c Ratio	0.17	0.44	0.10	0.33	0.19		0.44	0.81	0.67	0.10	0.38	0.11
Control Delay	10.4	11.9	1.5	6.4	4.6		46.9	64.8	16.0	39.3	43.3	0.7
Queue Delay	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	10.4	11.9	1.5	6.4	4.6		46.9	64.8	16.0	39.3	43.3	0.7
LOS	B	B	A	A	A		D	E	B	D	D	A
Approach Delay		10.8			5.0			37.8				32.6
Approach LOS		B			A			D				C
Queue Length 50th (ft)	24	150	0	23	43		46	130	22	6	55	0
Queue Length 95th (ft)	42	165	10	35	51		82	#187	70	20	91	0
Internal Link Dist (ft)		2049			1330			637				927
Turn Bay Length (ft)	290		250	400			215		315	200		120
Base Capacity (vph)	514	2000	938	413	2421		191	278	454	114	265	314
Starvation Cap Reductn	0	0	0	0	0		0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0		0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0		0	0	0	0	0	0
Reduced v/c Ratio	0.17	0.44	0.10	0.33	0.19		0.41	0.76	0.65	0.10	0.35	0.11

Intersection Summary

Area Type: Other
 Cycle Length: 100
 Actuated Cycle Length: 100
 Offset: 45 (45%), Referenced to phase 2:EBTL and 6:WBTL, Start of 1st Green
 Natural Cycle: 65
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.81
 Intersection Signal Delay: 17.3
 Intersection Capacity Utilization 57.4%
 Intersection LOS: B
 ICU Level of Service B

Intersection - Main Avenue E & 9th Street NE

2019 NO-Build (AM Peak)

Analysis Period (min) 15

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 1: 9th Street East & Main Avenue East



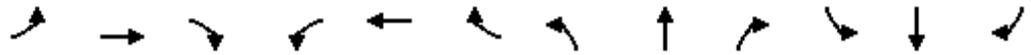
Intersection - Main Avenue E & 9th Street NE

2019 NO-Build (PM Peak)

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	37	558	134	281	630	13	106	99	113	38	214	74
Future Volume (vph)	37	558	134	281	630	13	106	99	113	38	214	74
Ideal Flow (vphpl)	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825
Storage Length (ft)	290		250	400		0	215		315	200		120
Storage Lanes	1		1	1		0	1		1	1		1
Taper Length (ft)	170			175			50			100		
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	0.95	1.00	1.00	1.00	1.00	1.00	1.00
Frt			0.850		0.997				0.850			0.850
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1605	3271	1536	1717	3226	0	1700	1644	1521	1469	1825	1492
Flt Permitted	0.392			0.356			0.425			0.689		
Satd. Flow (perm)	662	3271	1536	643	3226	0	760	1644	1521	1066	1825	1492
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			143		3				120			95
Link Speed (mph)		42			45			36			25	
Link Distance (ft)		2127			1412			706			1366	
Travel Time (s)		34.5			21.4			13.4			37.3	
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94
Heavy Vehicles (%)	8%	6%	1%	1%	7%	15%	2%	11%	2%	18%	0%	4%
Adj. Flow (vph)	39	594	143	299	670	14	113	105	120	40	228	79
Shared Lane Traffic (%)												
Lane Group Flow (vph)	39	594	143	299	684	0	113	105	120	40	228	79
Enter Blocked Intersection	No	No	No	No	No	No						
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		30			30			12			12	
Link Offset(ft)		0			0			0			0	
Crosswalk Width(ft)		48			40			30			30	
Two way Left Turn Lane												
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	2	1	1	2		1	2	1	1	2	1
Detector Template	Left	Thru	Right	Left	Thru		Left	Thru	Right	Left	Thru	Right
Leading Detector (ft)	20	100	20	20	100		20	100	20	20	100	20
Trailing Detector (ft)	0	0	0	0	0		0	0	0	0	0	0
Detector 1 Position(ft)	0	0	0	0	0		0	0	0	0	0	0
Detector 1 Size(ft)	20	6	20	20	6		20	6	20	20	6	20
Detector 1 Type	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 1 Queue (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 1 Delay (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 2 Position(ft)		94			94			94			94	
Detector 2 Size(ft)		6			6			6			6	
Detector 2 Type		Cl+Ex			Cl+Ex			Cl+Ex			Cl+Ex	
Detector 2 Channel												
Detector 2 Extend (s)		0.0			0.0			0.0			0.0	
Turn Type	Perm	NA	Perm	pm+pt	NA		Perm	NA	Perm	Perm	NA	Perm
Protected Phases		2		1	6			4			8	

Intersection - Main Avenue E & 9th Street NE

2019 NO-Build (PM Peak)



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Permitted Phases	2		2	6			4		4	8		8
Detector Phase	2	2	2	1	6		4	4	4	8	8	8
Switch Phase												
Minimum Initial (s)	15.0	15.0	15.0	5.0	15.0		7.0	7.0	7.0	7.0	7.0	7.0
Minimum Split (s)	42.0	42.0	42.0	11.1	35.5		13.6	13.6	13.6	13.9	13.9	13.9
Total Split (s)	53.0	53.0	53.0	21.0	74.0		36.0	36.0	36.0	36.0	36.0	36.0
Total Split (%)	48.2%	48.2%	48.2%	19.1%	67.3%		32.7%	32.7%	32.7%	32.7%	32.7%	32.7%
Maximum Green (s)	47.0	47.0	47.0	14.9	67.5		29.4	29.4	29.4	29.1	29.1	29.1
Yellow Time (s)	3.9	3.9	3.9	3.0	3.9		3.0	3.0	3.0	3.0	3.0	3.0
All-Red Time (s)	2.1	2.1	2.1	3.1	2.6		3.6	3.6	3.6	3.9	3.9	3.9
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.1	6.5		6.6	6.6	6.6	6.9	6.9	6.9
Lead/Lag	Lag	Lag	Lag	Lead								
Lead-Lag Optimize?												
Vehicle Extension (s)	3.0	3.0	3.0	3.0	3.0		3.0	3.0	3.0	3.0	3.0	3.0
Recall Mode	C-Max	C-Max	C-Max	None	C-Max		None	None	None	None	None	None
Walk Time (s)	5.0	5.0	5.0		5.0		5.0	5.0	5.0			
Flash Dont Walk (s)	31.0	31.0	31.0		24.0		25.0	25.0	25.0			
Pedestrian Calls (#/hr)	0	0	0		0		0	0	0			
Act Effct Green (s)	59.1	59.1	59.1	77.3	76.9		20.0	20.0	20.0	19.7	19.7	19.7
Actuated g/C Ratio	0.54	0.54	0.54	0.70	0.70		0.18	0.18	0.18	0.18	0.18	0.18
v/c Ratio	0.11	0.34	0.16	0.52	0.30		0.82	0.35	0.32	0.21	0.70	0.23
Control Delay	17.1	16.6	3.5	10.3	7.4		82.8	41.0	8.5	38.6	53.2	6.4
Queue Delay	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	17.1	16.6	3.5	10.3	7.4		82.8	41.0	8.5	38.6	53.2	6.4
LOS	B	B	A	B	A		F	D	A	D	D	A
Approach Delay		14.2			8.3			43.4				40.8
Approach LOS		B			A			D				D
Queue Length 50th (ft)	13	117	0	66	83		78	66	0	25	154	0
Queue Length 95th (ft)	40	200	37	134	146		135	107	45	52	215	28
Internal Link Dist (ft)		2047			1332			626			1286	
Turn Bay Length (ft)	290		250	400			215		315	200		120
Base Capacity (vph)	355	1756	891	599	2256		203	439	494	282	482	464
Starvation Cap Reductn	0	0	0	0	0		0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0		0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0		0	0	0	0	0	0
Reduced v/c Ratio	0.11	0.34	0.16	0.50	0.30		0.56	0.24	0.24	0.14	0.47	0.17

Intersection Summary

Area Type: Other
 Cycle Length: 110
 Actuated Cycle Length: 110
 Offset: 19 (17%), Referenced to phase 2:EBTL and 6:WBTL, Start of 1st Green
 Natural Cycle: 70
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.82
 Intersection Signal Delay: 19.6
 Intersection LOS: B
 Intersection Capacity Utilization 71.4%
 ICU Level of Service C
 Analysis Period (min) 15

Intersection - Main Avenue E & 9th Street NE

2019 NO-Build (PM Peak)

Splits and Phases: 1: 9th Street East & Main Avenue East



Intersection - Main Avenue E & 9th Street NE

2019 Build (AM Peak)

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	147	697	73	108	353	98	63	212	236	27	85	37
Future Volume (vph)	147	697	73	108	353	98	63	212	236	27	85	37
Ideal Flow (vphpl)	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825
Storage Length (ft)	290		250	400		0	215		315	200		120
Storage Lanes	1		1	1		0	1		1	1		1
Taper Length (ft)	170			175			50			100		
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	0.95	1.00	1.00	1.00	1.00	1.00	1.00
Frt			0.850		0.967				0.850			0.850
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1651	3334	1492	1651	3187	0	1700	1772	1551	1591	1738	1423
Flt Permitted	0.440			0.255			0.689			0.280		
Satd. Flow (perm)	765	3334	1492	443	3187	0	1233	1772	1551	469	1738	1423
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			109		89				255			105
Link Speed (mph)		42			45			36				25
Link Distance (ft)		638			1410			717				436
Travel Time (s)		10.4			21.4			13.6				11.9
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80
Heavy Vehicles (%)	5%	4%	4%	5%	5%	6%	2%	3%	0%	9%	5%	9%
Adj. Flow (vph)	184	871	91	135	441	123	79	265	295	34	106	46
Shared Lane Traffic (%)												
Lane Group Flow (vph)	184	871	91	135	564	0	79	265	295	34	106	46
Enter Blocked Intersection	No	No	No	No	No	No						
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		30			30			12				12
Link Offset(ft)		0			0			0				0
Crosswalk Width(ft)		48			40			30				30
Two way Left Turn Lane								Yes				
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	2	1	1	2		1	2	1	1	2	1
Detector Template	Left	Thru	Right	Left	Thru		Left	Thru	Right	Left	Thru	Right
Leading Detector (ft)	20	100	20	20	100		20	100	20	20	100	20
Trailing Detector (ft)	0	0	0	0	0		0	0	0	0	0	0
Detector 1 Position(ft)	0	0	0	0	0		0	0	0	0	0	0
Detector 1 Size(ft)	20	6	20	20	6		20	6	20	20	6	20
Detector 1 Type	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 1 Queue (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 1 Delay (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 2 Position(ft)		94			94			94				94
Detector 2 Size(ft)		6			6			6				6
Detector 2 Type		Cl+Ex			Cl+Ex			Cl+Ex				Cl+Ex
Detector 2 Channel												
Detector 2 Extend (s)		0.0			0.0			0.0				0.0
Turn Type	Perm	NA	Perm	pm+pt	NA		Perm	NA	Perm	Perm	NA	Perm
Protected Phases		2		1	6			4				8

Intersection - Main Avenue E & 9th Street NE

2019 Build (AM Peak)



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Permitted Phases	2		2	6			4		4	8		8
Detector Phase	2	2	2	1	6		4	4	4	8	8	8
Switch Phase												
Minimum Initial (s)	15.0	15.0	15.0	5.0	15.0		7.0	7.0	7.0	7.0	7.0	7.0
Minimum Split (s)	39.0	39.0	39.0	11.1	32.5		13.6	13.6	13.6	13.9	13.9	13.9
Total Split (s)	65.0	65.0	65.0	13.0	78.0		22.0	22.0	22.0	22.0	22.0	22.0
Total Split (%)	65.0%	65.0%	65.0%	13.0%	78.0%		22.0%	22.0%	22.0%	22.0%	22.0%	22.0%
Maximum Green (s)	59.0	59.0	59.0	6.9	71.5		15.4	15.4	15.4	15.1	15.1	15.1
Yellow Time (s)	3.9	3.9	3.9	3.0	3.9		3.0	3.0	3.0	3.0	3.0	3.0
All-Red Time (s)	2.1	2.1	2.1	3.1	2.6		3.6	3.6	3.6	3.9	3.9	3.9
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.1	6.5		6.6	6.6	6.6	6.9	6.9	6.9
Lead/Lag	Lag	Lag	Lag	Lead								
Lead-Lag Optimize?												
Vehicle Extension (s)	3.0	3.0	3.0	3.0	3.0		3.0	3.0	3.0	3.0	3.0	3.0
Recall Mode	C-Max	C-Max	C-Max	None	C-Max		None	None	None	None	None	None
Walk Time (s)	5.0	5.0	5.0		5.0		5.0	5.0	5.0			
Flash Dont Walk (s)	28.0	28.0	28.0		21.0		22.0	22.0	22.0			
Pedestrian Calls (#/hr)	0	0	0		0		0	0	0			
Act Effct Green (s)	59.1	59.1	59.1	71.9	71.5		15.4	15.4	15.4	15.1	15.1	15.1
Actuated g/C Ratio	0.59	0.59	0.59	0.72	0.72		0.15	0.15	0.15	0.15	0.15	0.15
v/c Ratio	0.41	0.44	0.10	0.34	0.24		0.42	0.97	0.65	0.49	0.40	0.15
Control Delay	14.4	12.2	1.5	6.7	4.3		45.9	92.2	15.3	63.7	43.6	1.1
Queue Delay	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	14.4	12.2	1.5	6.7	4.3		45.9	92.2	15.3	63.7	43.6	1.1
LOS	B	B	A	A	A		D	F	B	E	D	A
Approach Delay		11.7			4.8			51.0			36.8	
Approach LOS		B			A			D			D	
Queue Length 50th (ft)	59	150	0	23	45		46	170	22	20	62	0
Queue Length 95th (ft)	93	165	10	35	54		82	#273	70	#52	101	0
Internal Link Dist (ft)		558			1330			637			356	
Turn Bay Length (ft)	290		250	400			215		315	200		120
Base Capacity (vph)	452	1971	926	401	2304		189	272	454	70	262	304
Starvation Cap Reductn	0	0	0	0	0		0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0		0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0		0	0	0	0	0	0
Reduced v/c Ratio	0.41	0.44	0.10	0.34	0.24		0.42	0.97	0.65	0.49	0.40	0.15

Intersection Summary

Area Type: Other

Cycle Length: 100

Actuated Cycle Length: 100

Offset: 45 (45%), Referenced to phase 2:EBTL and 6:WBTL, Start of 1st Green

Natural Cycle: 70

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.97

Intersection Signal Delay: 21.0

Intersection LOS: C

Intersection Capacity Utilization 65.1%

ICU Level of Service C

Analysis Period (min) 15

Intersection - Main Avenue E & 9th Street NE

2019 Build (AM Peak)

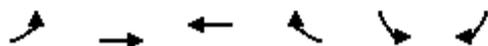
95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

Splits and Phases: 1: 9th Street East & Main Avenue East



Access - Main Avenue E (East Access)

2019 Build (AM Peak)



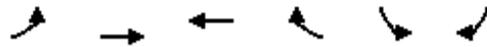
Lane Group	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↑↑	↑↑			↗
Traffic Volume (vph)	0	917	453	0	0	4
Future Volume (vph)	0	917	453	0	0	4
Ideal Flow (vphpl)	1825	1825	1825	1825	1825	1825
Lane Util. Factor	1.00	0.95	0.95	1.00	1.00	1.00
Fr _t						0.865
Fl _t Protected						
Satd. Flow (prot)	0	3334	3400	0	0	1548
Fl _t Permitted						
Satd. Flow (perm)	0	3334	3400	0	0	1548
Link Speed (mph)		42	42		30	
Link Distance (ft)		395	638		353	
Travel Time (s)		6.4	10.4		8.0	
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80
Heavy Vehicles (%)	2%	4%	2%	2%	2%	2%
Adj. Flow (vph)	0	1146	566	0	0	5
Shared Lane Traffic (%)						
Lane Group Flow (vph)	0	1146	566	0	0	5
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Left	Left	Right	Left	Right
Median Width(ft)		12	12		0	
Link Offset(ft)		0	0		0	
Crosswalk Width(ft)		16	16		16	
Two way Left Turn Lane						
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15			9	15	9
Sign Control		Free	Free		Stop	

Intersection Summary

Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	29.7%
	ICU Level of Service A
Analysis Period (min)	15

Access - Main Avenue E (West Access)

2019 Build (AM Peak)



Lane Group	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↑↑	↑↑			↗
Traffic Volume (vph)	0	917	457	0	0	4
Future Volume (vph)	0	917	457	0	0	4
Ideal Flow (vphpl)	1825	1825	1825	1825	1825	1825
Lane Util. Factor	1.00	0.95	0.95	1.00	1.00	1.00
Flt						0.865
Flt Protected						
Satd. Flow (prot)	0	3334	3400	0	0	1548
Flt Permitted						
Satd. Flow (perm)	0	3334	3400	0	0	1548
Link Speed (mph)		42	42		30	
Link Distance (ft)		1100	395		346	
Travel Time (s)		17.9	6.4		7.9	
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80
Heavy Vehicles (%)	2%	4%	2%	2%	2%	2%
Adj. Flow (vph)	0	1146	571	0	0	5
Shared Lane Traffic (%)						
Lane Group Flow (vph)	0	1146	571	0	0	5
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Left	Left	Right	Left	Right
Median Width(ft)		0	0		0	
Link Offset(ft)		0	0		0	
Crosswalk Width(ft)		16	16		16	
Two way Left Turn Lane						
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15			9	15	9
Sign Control		Free	Free		Stop	

Intersection Summary

Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	29.7%
ICU Level of Service	A
Analysis Period (min)	15

Access - 9th Street NE (South Access)

2019 Build (AM Peak)



Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	2	21	128	329	128	9
Future Volume (vph)	2	21	128	329	128	9
Ideal Flow (vphpl)	1825	1825	1825	1825	1825	1825
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00
Frt	0.879				0.991	
Flt Protected	0.995			0.986		
Satd. Flow (prot)	1404	0	0	1719	1773	0
Flt Permitted	0.995			0.986		
Satd. Flow (perm)	1404	0	0	1719	1773	0
Link Speed (mph)	30			35	25	
Link Distance (ft)	616			436	384	
Travel Time (s)	14.0			8.5	10.5	
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80
Heavy Vehicles (%)	2%	15%	9%	3%	2%	2%
Adj. Flow (vph)	3	26	160	411	160	11
Shared Lane Traffic (%)						
Lane Group Flow (vph)	29	0	0	571	171	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			12	12	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	

Intersection Summary

Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	46.3%
Analysis Period (min)	15
	ICU Level of Service A

Access - 9th Street NE (North Access 1)

2019 Build (AM Peak)



Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	3	8	35	296	129	7
Future Volume (vph)	3	8	35	296	129	7
Ideal Flow (vphpl)	1825	1825	1825	1825	1825	1825
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00
Frt	0.904			0.993		
Flt Protected	0.986			0.995		
Satd. Flow (prot)	1416	0	0	1796	1777	0
Flt Permitted	0.986			0.995		
Satd. Flow (perm)	1416	0	0	1796	1777	0
Link Speed (mph)	30			35	25	
Link Distance (ft)	592			384	409	
Travel Time (s)	13.5			7.5	11.2	
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80
Heavy Vehicles (%)	2%	20%	2%	1%	2%	2%
Adj. Flow (vph)	4	10	44	370	161	9
Shared Lane Traffic (%)						
Lane Group Flow (vph)	14	0	0	414	170	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			0	0	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	

Intersection Summary

Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	39.1%
Analysis Period (min)	15
	ICU Level of Service A

Access - 9th Street NE (North Access 2)

2019 Build (AM Peak)



Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	2	8	34	265	128	7
Future Volume (vph)	2	8	34	265	128	7
Ideal Flow (vphp)	1825	1825	1825	1825	1825	1825
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00
Frt	0.896			0.993		
Flt Protected	0.989			0.994		
Satd. Flow (prot)	1586	0	0	1778	1777	0
Flt Permitted	0.989			0.994		
Satd. Flow (perm)	1586	0	0	1778	1777	0
Link Speed (mph)	30			35	25	
Link Distance (ft)	597			409	270	
Travel Time (s)	13.6			8.0	7.4	
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80
Adj. Flow (vph)	3	10	43	331	160	9
Shared Lane Traffic (%)						
Lane Group Flow (vph)	13	0	0	374	169	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			0	0	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	

Intersection Summary

Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	37.3%
Analysis Period (min)	15
	ICU Level of Service A

Intersection - Main Avenue E & 9th Street NE

2019 Build (PM Peak)

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	58	558	134	281	630	34	106	111	113	115	259	99
Future Volume (vph)	58	558	134	281	630	34	106	111	113	115	259	99
Ideal Flow (vphp)	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825	1825
Storage Length (ft)	290		250	400		0	215		315	200		120
Storage Lanes	1		1	1		0	1		1	1		1
Taper Length (ft)	170			175			50			100		
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	0.95	1.00	1.00	1.00	1.00	1.00	1.00
Frt			0.850		0.992				0.850			0.850
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1591	3271	1551	1700	3207	0	1700	1629	1521	1548	1789	1423
Flt Permitted	0.383			0.347			0.360			0.681		
Satd. Flow (perm)	641	3271	1551	621	3207	0	644	1629	1521	1110	1789	1423
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			143		9				120			98
Link Speed (mph)		42			45			36				25
Link Distance (ft)		651			1412			706				451
Travel Time (s)		10.6			21.4			13.4				12.3
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94
Heavy Vehicles (%)	9%	6%	0%	2%	7%	12%	2%	12%	2%	12%	2%	9%
Adj. Flow (vph)	62	594	143	299	670	36	113	118	120	122	276	105
Shared Lane Traffic (%)												
Lane Group Flow (vph)	62	594	143	299	706	0	113	118	120	122	276	105
Enter Blocked Intersection	No	No	No	No	No	No						
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		30			30			12				12
Link Offset(ft)		0			0			0				0
Crosswalk Width(ft)		48			40			30				30
Two way Left Turn Lane												
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	2	1	1	2		1	2	1	1	2	1
Detector Template	Left	Thru	Right	Left	Thru		Left	Thru	Right	Left	Thru	Right
Leading Detector (ft)	20	100	20	20	100		20	100	20	20	100	20
Trailing Detector (ft)	0	0	0	0	0		0	0	0	0	0	0
Detector 1 Position(ft)	0	0	0	0	0		0	0	0	0	0	0
Detector 1 Size(ft)	20	6	20	20	6		20	6	20	20	6	20
Detector 1 Type	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex	Cl+Ex
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 1 Queue (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 1 Delay (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Detector 2 Position(ft)		94			94			94				94
Detector 2 Size(ft)		6			6			6				6
Detector 2 Type		Cl+Ex			Cl+Ex			Cl+Ex				Cl+Ex
Detector 2 Channel												
Detector 2 Extend (s)		0.0			0.0			0.0				0.0
Turn Type	Perm	NA	Perm	pm+pt	NA		Perm	NA	Perm	Perm	NA	Perm
Protected Phases		2		1	6			4				8

Intersection - Main Avenue E & 9th Street NE

2019 Build (PM Peak)

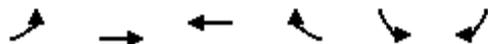
95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

Splits and Phases: 1: 9th Street East & Main Avenue East



Access - Main Avenue E (East Access)

2019 Build (PM Peak)



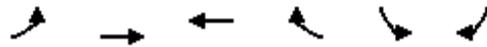
Lane Group	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↑↑	↑↑			↗
Traffic Volume (vph)	0	750	835	0	0	26
Future Volume (vph)	0	750	835	0	0	26
Ideal Flow (vphpl)	1825	1825	1825	1825	1825	1825
Lane Util. Factor	1.00	0.95	0.95	1.00	1.00	1.00
Fr _t						0.865
Fl _t Protected						
Satd. Flow (prot)	0	3433	3400	0	0	1548
Fl _t Permitted						
Satd. Flow (perm)	0	3433	3400	0	0	1548
Link Speed (mph)		42	42		30	
Link Distance (ft)		407	651		367	
Travel Time (s)		6.6	10.6		8.3	
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94
Heavy Vehicles (%)	0%	1%	2%	2%	2%	2%
Adj. Flow (vph)	0	798	888	0	0	28
Shared Lane Traffic (%)						
Lane Group Flow (vph)	0	798	888	0	0	28
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Left	Left	Right	Left	Right
Median Width(ft)		12	12		0	
Link Offset(ft)		0	0		0	
Crosswalk Width(ft)		16	16		16	
Two way Left Turn Lane						
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15			9	15	9
Sign Control		Free	Free		Stop	

Intersection Summary

Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	34.0%
ICU Level of Service	A
Analysis Period (min)	15

Access - Main Avenue E (West Access)

2019 Build (PM Peak)



Lane Group	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↑↑	↑↑			↗
Traffic Volume (vph)	0	750	861	0	0	26
Future Volume (vph)	0	750	861	0	0	26
Ideal Flow (vphpl)	1825	1825	1825	1825	1825	1825
Lane Util. Factor	1.00	0.95	0.95	1.00	1.00	1.00
Fr _t						0.865
Fl _t Protected						
Satd. Flow (prot)	0	3433	3400	0	0	1548
Fl _t Permitted						
Satd. Flow (perm)	0	3433	3400	0	0	1548
Link Speed (mph)		42	42		30	
Link Distance (ft)		1071	407		393	
Travel Time (s)		17.4	6.6		8.9	
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94
Heavy Vehicles (%)	0%	1%	2%	2%	2%	2%
Adj. Flow (vph)	0	798	916	0	0	28
Shared Lane Traffic (%)						
Lane Group Flow (vph)	0	798	916	0	0	28
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Left	Left	Right	Left	Right
Median Width(ft)		0	0		0	
Link Offset(ft)		0	0		0	
Crosswalk Width(ft)		16	16		16	
Two way Left Turn Lane						
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15			9	15	9
Sign Control		Free	Free		Stop	

Intersection Summary

Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	34.8%
Analysis Period (min)	15
	ICU Level of Service A

Access - 9th Street NE (South Access)

2019 Build (PM Peak)



Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	8	87	33	170	386	4
Future Volume (vph)	8	87	33	170	386	4
Ideal Flow (vphpl)	1825	1825	1825	1825	1825	1825
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00
Frt	0.877			0.999		
Flt Protected	0.996			0.992		
Satd. Flow (prot)	1451	0	0	1638	1787	0
Flt Permitted	0.996			0.992		
Satd. Flow (perm)	1451	0	0	1638	1787	0
Link Speed (mph)	30			35	25	
Link Distance (ft)	636			451	399	
Travel Time (s)	14.5			8.8	10.9	
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94
Heavy Vehicles (%)	29%	8%	8%	11%	2%	2%
Adj. Flow (vph)	9	93	35	181	411	4
Shared Lane Traffic (%)						
Lane Group Flow (vph)	102	0	0	216	415	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			12	12	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	

Intersection Summary

Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	48.7%
	ICU Level of Service A
Analysis Period (min)	15

Access - 9th Street NE (North Access 1)

2019 Build (PM Peak)



Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	7	30	11	167	360	3
Future Volume (vph)	7	30	11	167	360	3
Ideal Flow (vphpl)	1825	1825	1825	1825	1825	1825
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00
Frt	0.889			0.999		
Flt Protected	0.991			0.997		
Satd. Flow (prot)	1459	0	0	1642	1787	0
Flt Permitted	0.991			0.997		
Satd. Flow (perm)	1459	0	0	1642	1787	0
Link Speed (mph)	30			35	25	
Link Distance (ft)	672			399	391	
Travel Time (s)	15.3			7.8	10.7	
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94
Heavy Vehicles (%)	57%	0%	23%	10%	2%	2%
Bus Blockages (#/hr)	0	16	0	0	0	0
Adj. Flow (vph)	7	32	12	178	383	3
Shared Lane Traffic (%)						
Lane Group Flow (vph)	39	0	0	190	386	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			0	0	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	

Intersection Summary

Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	29.9%
Analysis Period (min)	15
	ICU Level of Service A

Access - 9th Street NE (North Access 2)

2019 Build (PM Peak)



Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	7	30	11	163	333	2
Future Volume (vph)	7	30	11	163	333	2
Ideal Flow (vphp)	1825	1825	1825	1825	1825	1825
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00
Frt	0.889				0.999	
Flt Protected	0.991			0.997		
Satd. Flow (prot)	1576	0	0	1784	1787	0
Flt Permitted	0.991			0.997		
Satd. Flow (perm)	1576	0	0	1784	1787	0
Link Speed (mph)	30			35	25	
Link Distance (ft)	659			391	363	
Travel Time (s)	15.0			7.6	9.9	
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94
Adj. Flow (vph)	7	32	12	173	354	2
Shared Lane Traffic (%)						
Lane Group Flow (vph)	39	0	0	185	356	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			0	0	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.05	1.05	1.05	1.05	1.05	1.05
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	

Intersection Summary

Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	28.4%
Analysis Period (min)	15
	ICU Level of Service A



ENGINEERING DEPARTMENT

800 4 Ave E, Suite 1
West Fargo, ND 58078
701.433.5300
www.westfargond.gov

AGENDA ITEM REQUEST
BOARD OF CITY COMMISSIONERS
WEST FARGO, NORTH DAKOTA

OFFICE USE: AGENDA ITEM # _____
--

** "Consent" or "Regular" Agenda Item? **Regular** **

1. CONTACT PERSON(s):
 - Dustin T. Scott, City Engineer (433-5425)
2. DATE OF MEETING: **May 20, 2019**
3. DESCRIPTION OF REQUEST:
 - Review Engineer's Report for Street Improvement District No. 2254, prepared by MBN Engineering as directed and reviewed by Dustin T. Scott, City Engineer.
4. LOCATION (address; legal; etc.):
 - Eagle Run Plaza 6th Addition
5. ACTION(S) REQUESTED:
 1. Approve the Engineer's Report and direct the Engineer to prepare detailed plans and specifications for the construction of "Street Improvement District No. 2254" (*pursuant to N.D.C.C. 40-22-11*).



May 17, 2019

Dustin Scott, PE
City Engineer
City of West Fargo
800 4th Ave. E. Suite 1
West Fargo, ND 58078

Subject: Street Improvement District No. 2254
Eagle Run Plaza 6th Addition
MBN Project No. 19-087

Mr. Scott,

Please see attached preliminary Engineer's Report for the Street Improvement District No.2254 for your review. If you find that the report is acceptable, please present it to the West Fargo City Commission during the next scheduled meeting. In order to meet the project's current proposed schedule, it is anticipated that the report will be approved by the Commission on May 20, 2019. Should the report not pass Commission, please let me know at your earliest convenience so that we can address any concerns.

If you have any questions or require additional information, please feel free to contact me at 701-478-6336.

Sincerely,

A handwritten signature in black ink, appearing to read "Tony Sager".

Tony Sager, P.E.
Civil Engineer

Enclosed: Engineer's Report



City of West Fargo

Street Improvement District No. 2254

Eagle Run Plaza 6th Addition
West Fargo, North Dakota
MBN Project No. 19-087
Engineer's Report

This document was originally issued and sealed by Anthony W. Sager, Registration No. 27421, on 5/17/19 and the original document is stored at the City of West Fargo.





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Exhibit 2: Eagle Run Plaza 6 th Addition Plat.....	5
Exhibit 3: General Layout.....	6
Exhibit 4: Engineer's Estimate of Probable Cost.....	7
Exhibit 5: Preliminary Special Assessment Allocations.....	8



1. Intent of Report

The purpose of this document is to provide a general nature and feasibility (pursuant to N.D.C.C. 40-22-10) of the proposed infrastructure improvements (“improvements”) that were requested via a petition dated May 6, 2019, to the City of West Fargo, North Dakota (“city”). The location of these improvements are located within Lots 1 & 2, Block 1 of the Eagle Run Plaza 6th Addition (“property”). This report also contains an engineer’s probable construction estimate, as well as recommendations for the proposed improvements.

2. Existing Conditions

Land Use

The property is currently undeveloped but is subject to construction activity taking place at the adjacent property to the south (Lot 3), where a new parking ramp is being constructed. Starting in July 2019, there will also be construction activity occurring on the north side of the project area. Currently this north lot (Lot 1) is vacant, undeveloped land. On the East side of the site is Braylankee Way, and on the East, 5th Street West Both streets consist of reinforced concrete sections.

Main Municipal Infrastructure

Braylankee Way is a frontage road type roadway that serves the adjacent private property and its associated buildings. Currently, vehicles cannot enter into Braylankee Way from Sheyenne Street due to the one-way traffic flow along Braylankee Way. However, there is a proposed turning lane on Sheyenne Street into Brayanklee that was installed under the assumption that vehicles will be allowed to access this corridor off of Sheyenne Street in the future.

5th Street West is a two-way traffic collector road that has main entrances onto 32nd Street West and Sheyenne Street. This road serves as the main corridor road for the surrounding residential and recreational properties that are located in the vicinity.

Both roads contain municipal utilities including watermain, sanitary sewer, and storm sewer. The storm sewer located in this area eventually routes to a regional retention pond located directly to the west of the proposed project site.

Currently, all the underground utilities for the proposed road have been installed under the adjacent city project (Moore Project 19982; Improvement District No. 1314). These existing utilities were master planned to service the proposed road. There is an existing 21” RCP storm sewer and an 8” PVC sanitary



sewer located within the right of way. Both of these lines service the adjacent ramp project located to the south. There is adequate capacity within the storm sewer to drain the proposed road as well. There is not an existing watermain located within the improvement boundaries. The only watermain lines are located within 5th Street West and Braylankee Way.

There is an existing 6' wide sidewalk on the west side of the proposed site that runs parallel with 5th Street West. On the East a 10' sidewalk/pathway runs parallel with Sheyenne Street.

In addition to the main infrastructure mentioned, there are also general infrastructure items adjacent to the property. These items include LED street lighting, street signage, and other miscellaneous items.

3. Need for Improvements

The adjacent developers have jointly petitioned for improvements to develop their respective properties. The improvements would complete the City infrastructure systems in this corridor, thereby providing a benefit in serving the area in an efficient manner. These improvements are also needed to service the adjacent parking ramp to the south and an adjacent multi-use building to the north.

The owners of the property located to the south (Lot 3) have also requested additional parking be provided as part of this improvement. Parallel parking has been proposed, consisting of 13 spaces. In addition to the on-street parking, the adjacent parking garage will have an entrance to the parking ramp to allow the garage to properly function as intended. This allows the ingress/egress for vehicles wishing to utilize the ramp.

4. Proposed Improvements

The proposed improvements are summarized as follows:

- Main City Infrastructure
 - One (1) Storm Sewer Inlet to drain the east portion of the proposed improvements.
 - One (1) Storm Sewer Manhole to connect to the existing 21" RCP Storm Sewer
 - 12" Storm Sewer piping to connect the proposed inlet to the proposed manhole.
 - Concrete street section with concrete curb & gutter.
 - Concrete valley gutter to provide a proper flow line where curb & gutter is not recommended.
 - Concrete sidewalk to provide pedestrian ingress/egress to existing walkways and newly developed adjacent properties.



- General Items
 - Street Signage
 - LED Street Lighting
 - Striping

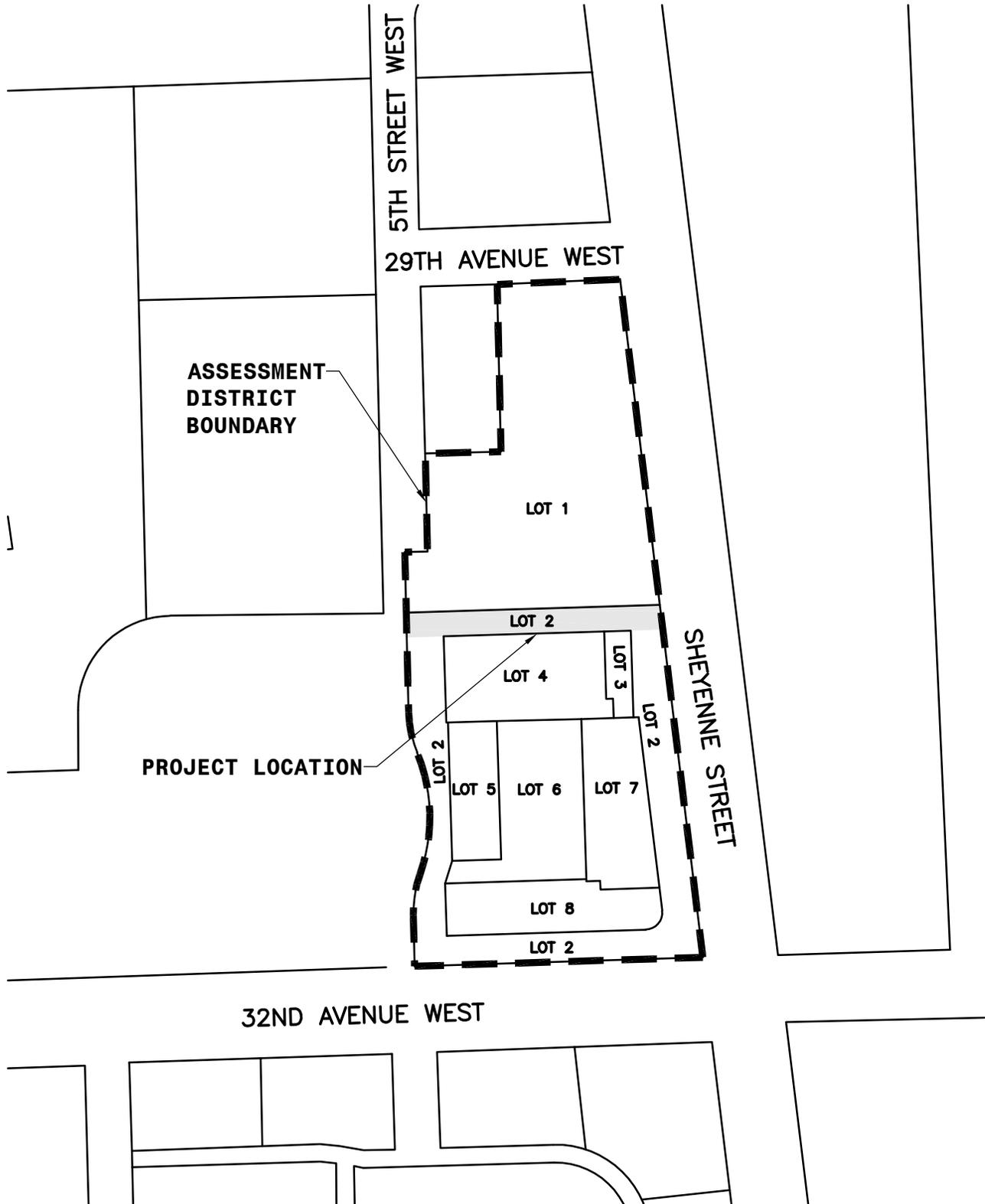
5. Funding

The preliminary assessments for Street Improvement District No. 2254 are included in Appendix A, under Exhibit 6. These estimates were calculated based on the Engineer's Opinion of Probable Cost and in accordance with the City of West Fargo Special Assessment Policy. Any levied special assessments must be approved by the City's Special Assessment Commission and City Commission.

6. Conclusion

The proposed improvements are necessary to service the properties, as well as the immediate corridor. These improvements are in accordance with the City of West Fargo design standards for public infrastructure. In addition, the proposed improvements generally follow the previous design assumptions, as well as the master plan to service the surrounding development.

APPENDIX A



**ASSESSMENT
DISTRICT
BOUNDARY**

PROJECT LOCATION

5TH STREET WEST

29TH AVENUE WEST

LOT 1

LOT 2

LOT 4

LOT 3

LOT 2

LOT 5

LOT 6

LOT 7

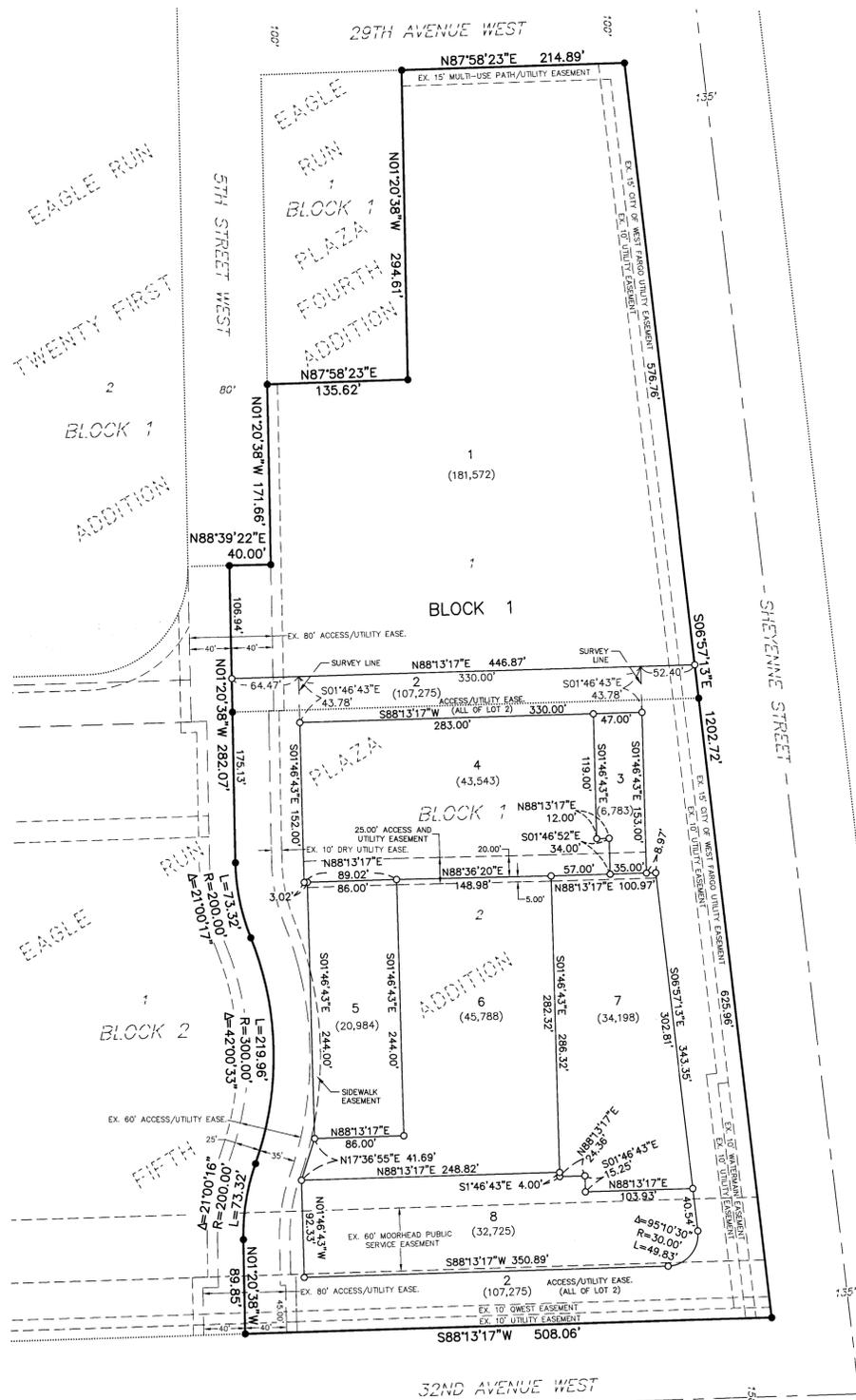
LOT 8

LOT 2

SHEYENNE STREET

32ND AVENUE WEST

PLAT OF EAGLE RUN PLAZA SIXTH ADDITION TO THE CITY OF WEST FARGO, A REPLAT OF LOTS 1 AND 2, BLOCK 1, EAGLE RUN PLAZA FIFTH ADDITION IN THE CITY OF WEST FARGO, CASS COUNTY, NORTH DAKOTA



CERTIFICATE

STEVEN W. HOLM, BEING DULY SWORN, DEPOSES AND SAYS THAT HE IS THE REGISTERED LAND SURVEYOR WHO PREPARED AND MADE THE ATTACHED PLAT OF "EAGLE RUN PLAZA SIXTH ADDITION" TO THE CITY OF WEST FARGO, A REPLAT OF LOTS 1 AND 2, BLOCK 1, EAGLE RUN PLAZA FIFTH ADDITION IN THE CITY OF WEST FARGO, CASS COUNTY, NORTH DAKOTA; THAT SAID PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY THEREOF; THAT ALL DISTANCES ARE CORRECTLY SHOWN ON SAID PLAT; THAT MONUMENTS HAVE BEEN PLACED IN THE GROUND AS INDICATED FOR THE GUIDANCE OF FUTURE SURVEYS AND THAT SAID ADDITION IS DESCRIBED AS FOLLOWS, TO WIT:

ALL OF LOTS 1 AND 2, BLOCK 1, EAGLE RUN PLAZA FIFTH ADDITION TO THE CITY OF WEST FARGO, ACCORDING TO THE RECORDED PLAT THEREOF, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, CASS COUNTY, NORTH DAKOTA.

SAID TRACT CONTAINS 10.86 ACRES, MORE OR LESS, AND IS SUBJECT TO ALL EASEMENTS, RESERVATIONS, RESTRICTIONS AND RIGHTS OF WAY OF RECORD, IF ANY.

Steven W. Holm
STEVEN W. HOLM
REGISTERED LAND SURVEYOR
REG. NO. LS-6571



STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 13th DAY OF December, 2017, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED Steven W. Holm, REGISTERED LAND SURVEYOR, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.

Brenda Jo Koski
BRENDA JO KOSKI
Notary Public
State of North Dakota
My Commission Expires May 9, 2018

WEST FARGO PLANNING COMMISSION APPROVAL

THIS PLAT IN THE CITY OF WEST FARGO IS HEREBY APPROVED THIS 14th DAY OF August, 2017.

Tom McDougall
TOM MCDUGALL, CHAIRMAN

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 8th DAY OF January, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED TOM MCDUGALL, CHAIRMAN OF THE WEST FARGO PLANNING COMMISSION, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN THE NAME OF THE WEST FARGO PLANNING COMMISSION.

Lisa Sankey
LISA SANKEY
Notary Public
State of North Dakota
My Commission Expires Sept. 29, 2021

WEST FARGO CITY COMMISSION APPROVAL

THIS PLAT IN THE CITY OF WEST FARGO IS HEREBY APPROVED THIS 19th DAY OF February, 2018.

Rich Mattern
RICH MATTERN, PRESIDENT OF THE WEST FARGO CITY COMMISSION

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 2nd DAY OF March, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED RICH MATTERN, PRESIDENT OF THE WEST FARGO CITY COMMISSION, AND TINA FISK, CITY AUDITOR, KNOWN TO ME TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THE NAME OF THE CITY OF WEST FARGO.

Lisa Sankey
LISA SANKEY
Notary Public
State of North Dakota
My Commission Expires Sept. 29, 2021

WEST FARGO CITY ATTORNEY APPROVAL

I HEREBY CERTIFY THAT PROPER EVIDENCE OF TITLE HAS BEEN EXAMINED BY ME AND I APPROVE THE PLAT AS TO FORM AND EXECUTION THIS 2nd DAY OF March, 2018.

John T. Shockley
JOHN T. SHOCKLEY, CITY ATTORNEY

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 2nd DAY OF March, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED JOHN T. SHOCKLEY, CITY ATTORNEY, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS THE CITY ATTORNEY.

Lisa Sankey
LISA SANKEY
Notary Public
State of North Dakota
My Commission Expires Sept. 29, 2021

CITY ENGINEER'S APPROVAL

THIS PLAT IN THE CITY OF WEST FARGO IS HEREBY APPROVED THIS 2nd DAY OF March, 2018.

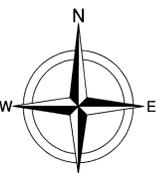
Dustin T. Scott
DUSTIN T. SCOTT, CITY ENGINEER

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 2nd DAY OF March, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED DUSTIN T. SCOTT, CITY ENGINEER, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.

Lisa Sankey
LISA SANKEY
Notary Public
State of North Dakota
My Commission Expires Sept. 29, 2021

NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA



- LEGEND**
- IRON MONUMENT FOUND
 - SET 5/8"x1/8" REBAR WITH YELLOW PLASTIC CAP #6571
 - L ARC LENGTH
 - R RADIUS LENGTH
 - Δ CENTRAL ANGLE
 - △ LOT AREA IN SQUARE FEET (25,126)

- NOTES:**
1. THIS PLAT VACATES THE EXISTING 100' WIDE ACCESS & UTILITY EASEMENT LOCATED ALONG THE COMMON LINE BETWEEN LOTS 1 AND 2, BLOCK 1, EAGLE RUN PLAZA FIFTH ADDITION.
 2. ALL OF LOT 2 IS TO BE COVERED BY AN ACCESS AND UTILITY EASEMENT.

DEDICATION

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE LAND DESCRIBED IN THE PLAT OF "EAGLE RUN PLAZA SIXTH ADDITION" TO THE CITY OF WEST FARGO, A REPLAT OF LOTS 1 AND 2, BLOCK 1, EAGLE RUN PLAZA FIFTH ADDITION IN THE CITY OF WEST FARGO, CASS COUNTY, NORTH DAKOTA; THAT WE HAVE CAUSED IT TO BE PLATTED INTO LOTS AND BLOCKS AS SHOWN BY SAID PLAT AND CERTIFICATE OF STEVEN W. HOLM, REGISTERED LAND SURVEYOR, AND THAT THE DESCRIPTION AS SHOWN IN THE CERTIFICATE OF THE REGISTERED LAND SURVEYOR IS CORRECT. WE HEREBY DEDICATE ALL UTILITY, ACCESS AND SIDEWALK EASEMENTS SHOWN ON SAID PLAT TO THE USE OF THE PUBLIC.

OWNER: LOT 1: 25TH STREET INVESTMENTS, LLC

James Bullis
BY: James Bullis
TITLE: President

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 15th DAY OF December, 2017, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED James Bullis, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN THE NAME OF 25TH STREET INVESTMENTS, LLC.

Brandi Buermann
BRANDI BUERMANN
Notary Public
State of North Dakota
My Commission Expires Jan. 12, 2021

MORTGAGEE: WESTERN STATE BANK

Western State Bank
BY: Western State Bank
TITLE: President/CEO

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 15th DAY OF December, 2017, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED Western State Bank, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN THE NAME OF WESTERN STATE BANK.

Desarae Pfeifle
DESARAE PFEIFLE
Notary Public
State of North Dakota
My Commission Expires Mar. 9, 2018

OWNER: LOTS 2, 4 & 6 - CITY OF WEST FARGO

Rich Mattern
RICH MATTERN, PRESIDENT OF THE WEST FARGO CITY COMMISSION

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 2nd DAY OF March, 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED RICH MATTERN, PRESIDENT OF THE WEST FARGO CITY COMMISSION, AND TINA FISK, CITY AUDITOR, KNOWN TO ME TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THE NAME OF THE CITY OF WEST FARGO.

Lisa Sankey
LISA SANKEY
Notary Public
State of North Dakota
My Commission Expires Sept. 29, 2021

OWNER: LOTS 3, 5, 7 & 8: SHEYENNE 32, LLC

Shayne 32 LLC
BY: Shayne 32 LLC
TITLE: President

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 14th DAY OF December, 2017, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED Todd Bering, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN THE NAME OF SHEYENNE 32, LLC.

Amy Hass
AMY HASS
Notary Public
State of North Dakota
My Commission Expires Oct. 15, 2021

MORTGAGEE: FIRST INTERNATIONAL BANK AND TRUST

First Int'l Bank
BY: First Int'l Bank
TITLE: AVP

STATE OF NORTH DAKOTA)
COUNTY OF CASS)

ON THIS 15th DAY OF December, 2017, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED First Int'l Bank, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN THE NAME OF FIRST INTERNATIONAL BANK AND TRUST.

Missie Schumaier
MISSIE SCHUMAIER
Notary Public
State of North Dakota
My Commission Expires April 1, 2022

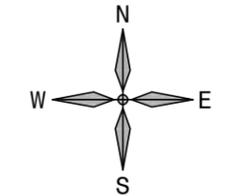
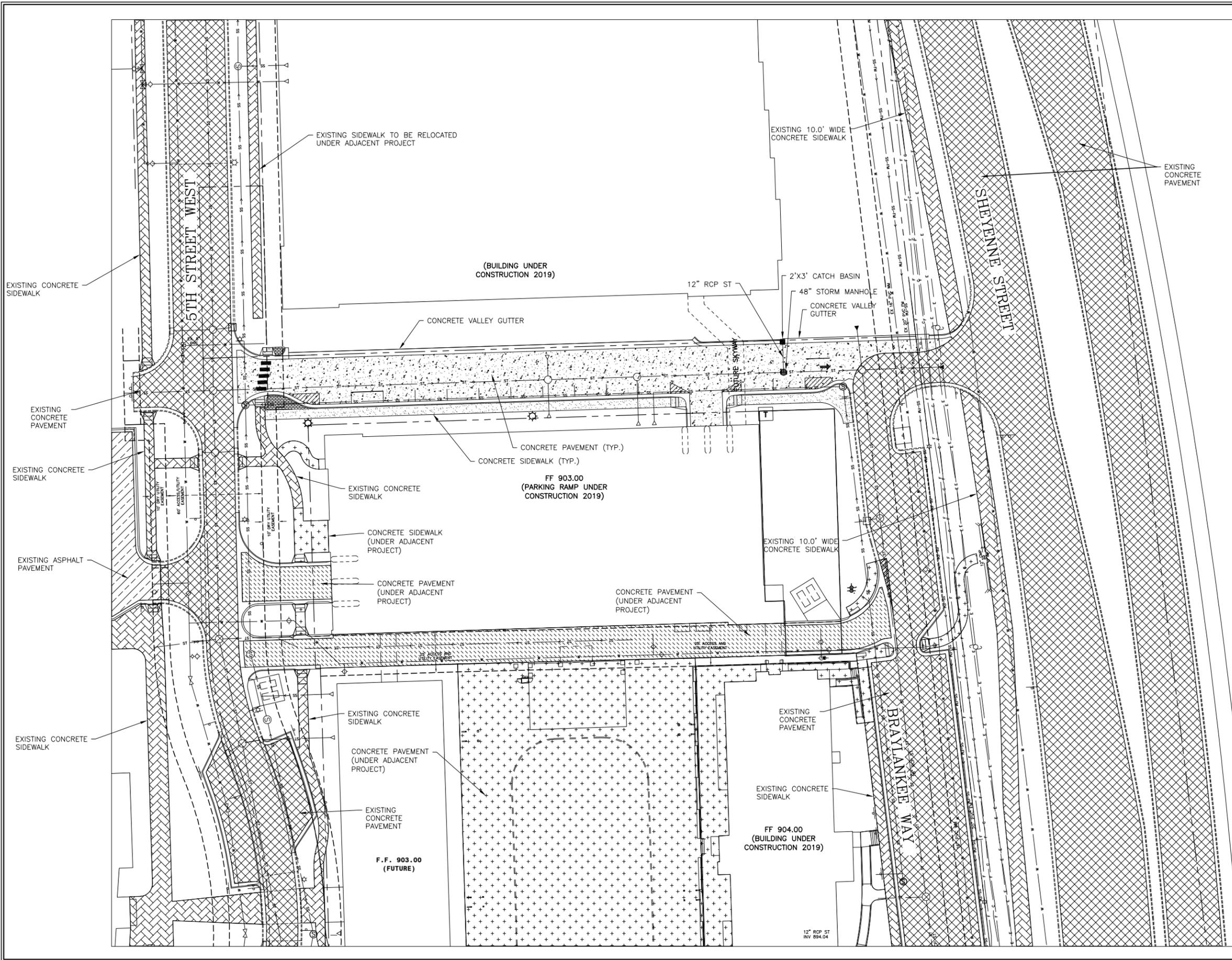
NOTARY PUBLIC, CASS COUNTY, NORTH DAKOTA



AUDITOR'S OFFICE
COUNTY OF CASS, NORTH DAKOTA
3/7/2018
Taxes and Special Assessments paid and transfer ordered.
Missie Schumaier AUDITOR
DLJ DEPUTY

RECORDER'S OFFICE, CASS COUNTY, ND
I CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD THIS DATE.
JEWEL A. SPIES, COUNTY RECORDER
by Shirley A. Kirby, Dep. 1532503
Recorded Electronically





0 10 20 40
 SCALE: 1 INCH = 20 FEET



ALL ELEVATIONS ARE BASED ON THE U.S.G.S. VERTICAL DATUM OF 1929. (UNLESS NOTED OTHERWISE)

REVISIONS		
③	②	①



General Layout

STREET IMPROVEMENT DISTRICT NO. 2254

DESIGN BY: AWS	CHECKED BY: AKE
DRAWN BY: AWS	ORIG DATE: April 2019



SHEET NO.
C10.0



Engineer's Opinion of Probable Construction Cost

Division of Work: Civil	Date: 5/17/2019	Project No: 19-087
Project Name: Lights Way West	By:	Page 1 of 1
Location: West Fargo, North Dakota	Phase: X SD DD CD VE	

Item / Description	Quantity	Units	Unit Cost	Total
Paving				
Remove Existing Concrete Curb & Gutter	150	LF	\$20.00	\$3,000.00
Remove Existing Concrete Sidewalk	40	SY	\$20.00	\$800.00
Remove Existing 8" PVC Water Service	18	LF	\$25.00	\$450.00
Remove & Salvage Existing Sign	1	EA	\$500.00	\$500.00
6" Non-Reinforced Concrete Pavement	1,320	SY	\$50.00	\$66,000.00
6" NDDOT Class 5 Aggregate Base	250	CY	\$15.00	\$3,750.00
4" Reinforced Concrete Sidewalk	260	SY	\$50.00	\$13,000.00
4" Reinforced Colored & Stamped Concrete Sidewalk	21	SY	\$100.00	\$2,100.00
3.0' Wide Concrete Valley Gutter	92	LF	\$25.00	\$2,300.00
4.0' Wide Concrete Valley Gutter	255	LF	\$30.00	\$7,650.00
Concrete Curb & Gutter	570	LF	\$30.00	\$17,100.00
Detectable Warning Panels	24	LF	\$50.00	\$1,200.00
Signing & Striping	1	LS	\$5,000.00	\$5,000.00
Geotextile Fabric	1,320	SY	\$2.00	\$2,640.00
Subgrade Preparation	1,320	SY	\$5.00	\$6,600.00
Excavation & Embankment	1	LS	\$15,000.00	\$15,000.00
Storm Sewer				
48" Storm Manhole	1	EA	\$5,000.00	\$5,000.00
27" Storm Inlet	1	EA	\$3,000.00	\$3,000.00
12" Class III RCP Storm Sewer	19	LF	\$60.00	\$1,140.00
Electrical Items				
Conductor -#6 USE Cu	240	LF	\$1.50	\$360.00
Tracer Wire - #12	240	LF	\$2.00	\$480.00
Innderduct - 1.5" PVC	240	LF	\$4.00	\$960.00
Concrete Base - 5'	2	EA	\$400.00	\$800.00
Light Standard - Single LED & 14' Post	2	EA	\$2,600.00	\$5,200.00
General Items				
Cleaning	1	LS	\$1,000.00	\$1,000.00
Erosion Control	1	LS	\$5,000.00	\$5,000.00
Mobilization	1	LS	\$5,000.00	\$5,000.00
Traffic Control	1	LS	\$500.00	\$500.00
Topsoil Stripping	350	CY	\$3.00	\$1,050.00
Seeding	1	LS	\$1,000.00	\$1,000.00
Construction Subtotal				\$177,580.00
Contingency				\$37,420.00
Construction Total				\$215,000.00

Engineering.....	\$ 25,000
Material Testing.....	\$ 5,000
Legal & Administration.....	\$ 10,000
Bond Discount.....	\$ 8,500
Total Project.....	\$263,500

Division	Block	Lot	GIS PIN	Area Factor	Assessable Area (Acres)	Factored Assessable Area (Acres)	Storm Area	Equivalent Units	Storm Sewer	Parallel Parking & South Sidewalk	Drivethrough Road	Electrical	Total Assessment	Notes
EAGLE RUN PLAZA 6TH ADDITION	1	1	0	1.00	4.17	4.17	4.17	18	\$6,735.69	\$0.00	\$101,518.10	\$5,748.18	\$114,001.97	
EAGLE RUN PLAZA 6TH ADDITION	1	2	0	0.00	2.46	0.00	0.00	0	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
EAGLE RUN PLAZA 6TH ADDITION	1	3	0	1.00	0.16	0.16	0.16	1	\$255.70	\$1,271.95	\$3,853.88	\$218.22	\$5,599.76	
EAGLE RUN PLAZA 6TH ADDITION	1	4	0	1.00	1.00	1.00	1.00	4	\$1,611.26	\$8,014.90	\$24,284.29	\$1,375.03	\$35,285.48	
EAGLE RUN PLAZA 6TH ADDITION	1	5	0	1.00	0.48	0.48	0.48	2	\$778.44	\$3,872.21	\$11,732.38	\$664.31	\$17,047.34	
EAGLE RUN PLAZA 6TH ADDITION	1	6	0	1.00	1.05	1.05	1.05	5	\$1,698.58	\$8,449.28	\$25,600.42	\$1,449.55	\$37,197.83	
EAGLE RUN PLAZA 6TH ADDITION	1	7	0	1.00	0.79	0.79	0.79	3	\$1,268.63	\$6,310.57	\$19,120.37	\$1,082.64	\$27,782.21	
EAGLE RUN PLAZA 6TH ADDITION	1	8	0	1.00	0.75	0.75	0.75	3	\$1,213.98	\$6,038.72	\$18,296.70	\$1,038.00	\$26,585.40	
Construction Dollars					10.86	8.39	8.39	36	\$13,662.28	\$33,957.64	\$204,406.14	\$11,573.94		

Storm Sewer	\$11,066.00
Parallel Parking & South Sidewalk	\$27,707.37
Drivethrough Road	\$186,783.00
Electrical	\$9,443.63
Total	\$215,000.00
Based on Assessment Total	
Storm Sewer	\$13,562.28
Parallel Parking & South Sidewalk	\$33,957.64
Drivethrough Road	\$204,406.14
Electrical	\$11,573.94
Total Assessment	\$263,500.00

Engineering, admin., legal, etc. = 22.56%	
Storm Sewer Cost per SF	\$0.04
Parallel Parking & South Sidewalk per SF	\$0.18
Drivethrough Road Cost per SF	\$0.56
Electrical Cost per SF	\$0.03

Color Legend

Unassessable Parcel
Adjusted Number of EU's
Adjusted Area for Pond Storage/River Setback
Adjusted Number/EU's for Condo Lots
Questionable Lots/Frontages/Areas



ENGINEERING DEPARTMENT

800 4 Ave E, Suite 1
West Fargo, ND 58078
701.433.5300
www.westfargond.gov

AGENDA ITEM REQUEST
BOARD OF CITY COMMISSIONERS
WEST FARGO, NORTH DAKOTA

OFFICE USE:
AGENDA ITEM # _____

** "Consent" or "Regular" Agenda Item? **Regular** **

1. CONTACT PERSON(s):
 - Dustin T. Scott, City Engineer (433-5425)
2. DATE OF MEETING: **May 20, 2019**
3. DESCRIPTION OF REQUEST:
 - Review letter prepared by Moore Engineering including bid results and a recommendation to award a construction contract for *Sewer, Water, Storm and Street Improvement District No. 1321*
 - Review Engineer's Statement of Cost for *Sewer, Water, Storm and Street Improvement District No. 1321 (pursuant to N.D.C.C. 40-22-29)*.
4. LOCATION (address; legal; etc.):
 - Wilds 11th Addition
5. ACTION(S) REQUESTED:
 1. Award construction contract for *Sewer, Water, Storm and Street Improvement District No. 1321* to Dakota Underground Company in the amount of \$3,993,478.55



925 10th Avenue East
West Fargo, ND 58078

P: 701.282.4692
F: 701.282.4530



May 16, 2019

Dustin Scott, PE
City Engineer
City of West Fargo
800 4th Avenue East
West Fargo ND 58078

Re: Sewer, Water, Storm and Street Improvement Dist. No. 1321
The Wilds 11th Addition
West Fargo, ND

Dear Dustin:

Bids were opened for the above referenced project on March 21, 2019 at 10:00 a.m. at West Fargo City Hall. The bids were compiled and the bid tabulation is enclosed for your review.

I hereby recommend award of contract to Dakota Underground Company for their bid of \$3,993,478.55.

Our Engineer's Opinion of Probable Cost with the Engineer's Report was \$3,438,050.00. Our final engineer's estimate was \$3,800,000.00.

Please review and provide comment at your earliest convenience. If you do not have any questions or comments, please present it to the West Fargo City Commission. To meet the project's proposed schedule, this project is anticipated to be awarded by the City Commission on May 20, 2019. If the contract is awarded by the Commission, please sign, date, and return the enclosed Notice of Award.

Also enclosed is the Engineer's Statement of Cost and the updated Special Assessment allocations for your review and approval. Please sign the Statement of Cost letter and return upon your approval.

Sincerely,

Steve W. Iverson, MBA
Project Manager

Enclosures:

Bid Tabulations
Notice of Award
Engineer's Statement of Cost

Sewer, Water, Storm and Street Improvement District No. 1321
 The Wilds 11th Addition
 West Fargo ND
 Project No. 20358
 Bid Date: May 14,2019

Dakota Underground Company
 4001 15th Ave NW
 Fargo, ND 58102

Border States Paving, Inc.
 PO Box 2586
 Fargo, ND 58108-2586

Fox Underground, Inc.
 PO Box 739
 West fargo, ND 58078

Northern Improvement Company
 PO Box 2846
 Fargo, ND 58108-2846

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE							
Sanitary Sewer Items											
1. 24200 Removal of Sanitary Sewer Cleanout	EA	1	\$500.00	\$500.00	\$220.00	\$220.00	\$200.00	\$200.00	\$23.00	\$23.00	
2. 330130.11 Televis - Mainline	LF	3,140	\$2.00	\$6,280.00	\$2.70	\$8,478.00	\$2.50	\$7,850.00	\$2.85	\$8,949.00	
3. 330130.11 Televis - Service	LF	4,811	\$2.00	\$9,622.00	\$2.70	\$12,989.70	\$2.50	\$12,027.50	\$2.85	\$13,711.35	
4. 330561 Sanitary Sewer Manhole - 48"	EA	14	\$7,000.00	\$98,000.00	\$10,000.00	\$140,000.00	\$9,500.00	\$133,000.00	\$10,925.00	\$152,950.00	
5. 330561 Sanitary Sewer Manhole - 60"	EA	2	\$10,000.00	\$20,000.00	\$20,000.00	\$40,000.00	\$17,500.00	\$35,000.00	\$20,125.00	\$40,250.00	
6. 333111 Sanitary Sewer - 8" PVC SDR 26	LF	2,391	\$65.00	\$155,415.00	\$85.00	\$203,235.00	\$80.00	\$191,280.00	\$92.00	\$219,972.00	
7. 333111 Sanitary Sewer - 8" PVC SDR 35	LF	749	\$32.00	\$23,968.00	\$53.00	\$39,697.00	\$50.00	\$37,450.00	\$57.50	\$43,067.50	
8. 333111 Sanitary Sewer Cleanout	EA	4	\$700.00	\$2,800.00	\$1,200.00	\$4,800.00	\$1,000.00	\$4,000.00	\$1,150.00	\$4,600.00	
9. 333111 Sanitary Sewer Service - 6" PVC SDR 26	LF	4,811	\$21.00	\$101,031.00	\$45.00	\$216,495.00	\$40.00	\$192,440.00	\$46.00	\$221,306.00	
10. 333111 Sanitary Sewer Service Connection	EA	68	\$500.00	\$34,000.00	\$600.00	\$40,800.00	\$540.00	\$36,720.00	\$621.00	\$42,228.00	
Watermain Items											
1. 331413 Fittings	LBS	2,417	\$3.00	\$7,251.00	\$6.00	\$14,502.00	\$5.00	\$12,085.00	\$5.75	\$13,897.75	
2. 331413 Water Main - 6" PVC C900	LF	40	\$27.00	\$1,080.00	\$38.00	\$1,520.00	\$35.00	\$1,400.00	\$40.25	\$1,610.00	
3. 331413 Water Main - 8" PVC C900	LF	3,540	\$25.00	\$88,500.00	\$36.80	\$130,272.00	\$35.00	\$123,900.00	\$40.25	\$142,485.00	
4. 331417 Water Service Connection - 1"	EA	68	\$600.00	\$40,800.00	\$578.00	\$39,304.00	\$550.00	\$37,400.00	\$632.50	\$43,010.00	
5. 331417 Water Service Line - 1"	LF	2,927	\$17.00	\$49,759.00	\$18.90	\$55,320.30	\$18.00	\$52,686.00	\$20.70	\$60,588.90	
6. 331419 Gate Valve & Box - 6"	EA	8	\$1,100.00	\$8,800.00	\$1,470.00	\$11,760.00	\$1,400.00	\$11,200.00	\$1,610.00	\$12,880.00	
7. 331419 Gate Valve & Box - 8"	EA	6	\$1,600.00	\$9,600.00	\$1,890.00	\$11,340.00	\$1,800.00	\$10,800.00	\$2,070.00	\$12,420.00	
8. 331419 Hydrant - 6"	EA	8	\$4,500.00	\$36,000.00	\$5,470.00	\$43,760.00	\$5,200.00	\$41,600.00	\$5,980.00	\$47,840.00	
Storm Sewer Items											
1. 202.0170 Removal of Culverts-All Types & Sizes	LF	55	\$25.00	\$1,375.00	\$21.00	\$1,155.00	\$20.00	\$1,100.00	\$23.00	\$1,265.00	
2. 714.0115 Pipe Conc Reinf 12In CI III-Storm Drain	LF	656	\$42.00	\$27,552.00	\$37.90	\$24,862.40	\$36.00	\$23,616.00	\$41.40	\$27,158.40	
3. 714.0210 Pipe Conc Reinf 15In CI III-Storm Drain	LF	1,390	\$45.00	\$62,550.00	\$46.30	\$64,357.00	\$44.00	\$61,160.00	\$50.60	\$70,334.00	
4. 714.0315 Pipe Conc Reinf 18In CI III-Storm Drain	LF	352	\$47.00	\$16,544.00	\$48.40	\$17,036.80	\$46.00	\$16,192.00	\$52.90	\$18,620.80	
5. 714.0405 Pipe Conc Reinf 21In CI III-Storm Drain	LF	47	\$52.00	\$2,444.00	\$52.60	\$2,472.20	\$50.00	\$2,350.00	\$57.50	\$2,702.50	
6. 714.0620 Pipe Conc Reinf 24In CI III-Storm Drain	LF	465	\$56.00	\$26,040.00	\$63.10	\$29,341.50	\$60.00	\$27,900.00	\$69.00	\$32,085.00	
7. 714.0710 Pipe Conc Reinf 27In CI III-Storm Drain	LF	161	\$73.00	\$11,753.00	\$75.70	\$12,187.70	\$72.00	\$11,592.00	\$82.80	\$13,330.80	
8. 714.0825 Pipe Conc Reinf 30In CI III-Storm Drain	LF	443	\$79.00	\$34,997.00	\$86.20	\$38,186.60	\$82.00	\$36,326.00	\$94.30	\$41,774.90	
9. 714.0910 Pipe Conc Reinf 36In CI III-Storm Drain	LF	146	\$104.00	\$15,184.00	\$131.00	\$19,126.00	\$125.00	\$18,250.00	\$143.75	\$20,987.50	
10. 714.1010 Pipe Conc Reinf 42In CI III-Storm Drain	LF	492	\$145.00	\$71,340.00	\$179.00	\$88,068.00	\$170.00	\$83,640.00	\$195.50	\$96,186.00	
11. 714.3005 End Sect-Conc Reinf 15In	EA	1	\$1,500.00	\$1,500.00	\$788.00	\$788.00	\$750.00	\$750.00	\$862.50	\$862.50	
12. 714.4092 Pipe Conduit 12In-Storm Drain	LF	1,604	\$26.00	\$41,704.00	\$31.50	\$50,526.00	\$30.00	\$48,120.00	\$34.50	\$55,338.00	

Sewer, Water, Storm and Street Improvement District No. 1321
 The Wilds 11th Addition
 West Fargo ND
 Project No. 20358
 Bid Date: May 14,2019

Dakota Underground Company
 4001 15th Ave NW
 Fargo, ND 58102

Border States Paving, Inc.
 PO Box 2586
 Fargo, ND 58108-2586

Fox Underground, Inc.
 PO Box 739
 West fargo, ND 58078

Northern Improvement Company
 PO Box 2846
 Fargo, ND 58108-2846

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
13. 714.4097 Pipe Conduit 15In-Storm Drain	LF	160	\$31.00	\$4,960.00 [C]	\$42.10	\$6,736.00	\$40.00	\$6,400.00	\$46.00	\$7,360.00
14. C-002 Adjust Existing - Special	LSum	1	\$45,000.00	\$45,000.00	\$473.00	\$473.00	\$10,000.00	\$10,000.00	\$1,150.00	\$1,150.00
15. 722.0100 Manhole 48In	EA	13	\$2,900.00	\$37,700.00	\$3,210.00	\$41,730.00	\$2,600.00	\$33,800.00	\$2,990.00	\$38,870.00
16. 722.0110 Manhole 60In	EA	10	\$4,200.00	\$42,000.00	\$4,680.00	\$46,800.00	\$4,000.00	\$40,000.00	\$4,600.00	\$46,000.00
17. 722.0120 Manhole 72In	EA	3	\$6,000.00	\$18,000.00	\$7,310.00	\$21,930.00	\$6,500.00	\$19,500.00	\$7,475.00	\$22,425.00
18. 722.0130 Manhole 84In	EA	1	\$10,000.00	\$10,000.00	\$10,500.00	\$10,500.00	\$9,500.00	\$9,500.00	\$10,925.00	\$10,925.00
19. 722.3510 Inlet-Type 2	EA	17	\$2,500.00	\$42,500.00	\$2,940.00	\$49,980.00	\$2,800.00	\$47,600.00	\$3,220.00	\$54,740.00
20. 722.4000 Inlet Catch Basin-Type A	EA	19	\$1,500.00	\$28,500.00	\$1,890.00	\$35,910.00	\$1,800.00	\$34,200.00	\$2,070.00	\$39,330.00
21. 714.9680 Plug Pipe-All Types & Sizes	EA	3	\$8,000.00	\$24,000.00	\$263.00	\$789.00	\$250.00	\$750.00	\$287.50	\$862.50
22. C-404 PTO Lift Station Removal	LSum	1	\$20,000.00	\$20,000.00	\$87,300.00	\$87,300.00	\$83,000.00	\$83,000.00	\$155,000.00	\$155,000.00
Roadway Items										
1. 202.0114 Removal of Concrete Pavement	SY	71	\$15.00	\$1,065.00	\$15.80	\$1,121.80	\$20.00	\$1,420.00	\$12.00	\$852.00
2. 202.0130 Removal of Curb & Gutter	LF	101	\$5.00	\$505.00	\$15.80	\$1,595.80	\$15.00	\$1,515.00	\$7.00	\$707.00
3. 202.0132 Removal of Bituminous Surfacing	SY	337	\$10.00	\$3,370.00	\$14.60	\$4,920.20	\$20.00	\$6,740.00	\$7.00	\$2,359.00
4. 203.0101 Common Excavation-Type A	CY	64,114	\$5.00	\$320,570.00	\$5.20	\$333,392.80	\$4.25	\$272,484.50	\$6.00	\$384,684.00
5. 203.0140 Borrow-Excavation	CY	77,171	\$2.25	\$173,634.75	\$3.90	\$300,966.90	\$5.50	\$424,440.50	\$4.50	\$347,269.50
6. 230.00001 Subgrade Preparation-Type A-12In	SY	28,940	\$1.75	\$50,645.00	\$1.40	\$40,516.00	\$2.50	\$72,350.00	\$1.85	\$53,539.00
7. 302.0121 Aggregate Base Course CI 5	CY	7,235	\$32.00	\$231,520.00	\$34.00	\$245,990.00	\$31.00	\$224,285.00	\$38.00	\$274,930.00
8. 430.0042 Superpave FAA 42	TON	6,950	\$70.00	\$486,500.00	\$66.00	\$458,700.00	\$72.00	\$500,400.00	\$80.00	\$556,000.00
9. 709.0151 Geosynthetic Material Type R1	SY	28,940	\$1.75	\$50,645.00	\$1.40	\$40,516.00	\$2.25	\$65,115.00	\$1.70	\$49,198.00
10. 714.9696 Edgedrain Non Permeable Base	LF	15,437	\$5.00	\$77,185.00	\$4.10	\$63,291.70	\$2.25	\$34,733.25	\$5.00	\$77,185.00
11. 748.0140 Curb & Gutter-Type I	LF	15,437	\$16.00	\$246,992.00	\$15.50	\$239,273.50	\$17.00	\$262,429.00	\$15.00	\$231,555.00
12. 750.0020 Pigmented Concrete	SY	125	\$140.00	\$17,500.00	\$142.00	\$17,750.00	\$150.00	\$18,750.00	\$150.00	\$18,750.00
13. 750.0030 Pigmented Imprinted Concrete	SY	4	\$170.00	\$680.00	\$168.00	\$672.00	\$200.00	\$800.00	\$180.00	\$720.00
14. 750.0115 Sidewalk Concrete 4In	SY	1,669	\$40.00	\$66,760.00	\$37.60	\$62,754.40	\$45.00	\$75,105.00	\$38.50	\$64,256.50
15. 750.0125 Sidewalk Concrete 5In	SY	3,024	\$42.00	\$127,008.00	\$39.30	\$118,843.20	\$47.00	\$142,128.00	\$40.00	\$120,960.00
16. 750.0140 Sidewalk Concrete 6In	SY	257	\$45.00	\$11,565.00	\$44.80	\$11,513.60	\$56.00	\$14,392.00	\$46.00	\$11,822.00
17. 750.1020 Driveway Concrete 7In Reinforced	SY	356	\$60.00	\$21,360.00	\$54.20	\$19,295.20	\$56.00	\$19,936.00	\$51.00	\$18,156.00
18. 750.1021 Driveway Concrete 8In Reinforced	SY	124	\$75.00	\$9,300.00	\$81.00	\$10,044.00	\$80.00	\$9,920.00	\$79.00	\$9,796.00
19. 750.2115 Detectable Warning Panels	SF	580	\$40.00	\$23,200.00	\$31.50	\$18,270.00	\$35.00	\$20,300.00	\$33.00	\$19,140.00
20. 754.0110 Flat Sheet For Signs-Type XI Refl Sheeting	SF	222	\$16.00	\$3,552.00	\$15.80	\$3,507.60	\$20.00	\$4,440.00	\$16.50	\$3,663.00
21. 772.2215 Pedestrian Pushbutton & Sign	EA	2	\$3,700.00	\$7,400.00	\$3,680.00	\$7,360.00	\$3,800.00	\$7,600.00	\$3,850.00	\$7,700.00
22. 754.0206 Steel Galv Posts-Telescoping Perforated Tube	LF	463	\$11.00	\$5,093.00	\$10.50	\$4,861.50	\$12.00	\$5,556.00	\$11.00	\$5,093.00

Sewer, Water, Storm and Street Improvement District No. 1321
 The Wilds 11th Addition
 West Fargo ND
 Project No. 20358
 Bid Date: May 14,2019

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 Fargo, ND 58102

Border States Paving, Inc.
 PO Box 2586
 Fargo, ND 58108-2586

Fox Underground, Inc.
 PO Box 739
 West fargo, ND 58078

Northern Improvement Company
 PO Box 2846
 Fargo, ND 58108-2846

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE						
23. 762.1315 Preformed Patterned Pvmt Mk 12In Line-Grooved	LF	48	\$21.00	\$1,008.00	\$21.00	\$1,008.00	\$24.00	\$1,152.00	\$22.00	\$1,056.00
24. 762.1325 Preformed Patterned Pvmt Mk 24In Line-Grooved	LF	330	\$36.00	\$11,880.00	\$35.70	\$11,781.00	\$38.00	\$12,540.00	\$37.40	\$12,342.00
25. C-002 Cluster Box Unit - 12 Unit	EA	3	\$1,800.00	\$5,400.00	\$1,790.00	\$5,370.00	\$1,700.00	\$5,100.00	\$2,000.00	\$6,000.00
26. C-002 Cluster Box Unit - 13 Unit	EA	1	\$1,800.00	\$1,800.00	\$1,790.00	\$1,790.00	\$1,900.00	\$1,900.00	\$2,100.00	\$2,100.00
27. C-002 Cluster Box Unit - 8 Unit	EA	19	\$1,700.00	\$32,300.00	\$1,790.00	\$34,010.00	\$1,650.00	\$31,350.00	\$1,900.00	\$36,100.00
<u>Pond Items</u>										
1. 255.0101 Ecb Type 1	SY	11,349	\$1.20	\$13,618.80	\$1.15	\$13,051.35	\$2.00	\$22,698.00	\$1.25	\$14,186.25
2. 256.0500 Riprap-Special	CY	34	\$300.00	\$10,200.00	\$315.00	\$10,710.00	\$340.00	\$11,560.00	\$345.00	\$11,730.00
3. 714.0620 Pipe Conc Reinf 24In Cl III-Storm Drain	LF	47	\$87.00	\$4,089.00	\$63.10	\$2,965.70	\$60.00	\$2,820.00	\$69.00	\$3,243.00
4. 714.0910 Pipe Conc Reinf 36In Cl III-Storm Drain	LF	266	\$133.00	\$35,378.00	\$131.00	\$34,846.00	\$125.00	\$33,250.00	\$145.00	\$38,570.00
5. 714.1312 Pipe Conc Reinf 60In Cl III-Storm Drain	LF	314	\$266.00	\$83,524.00	\$310.00	\$97,340.00	\$295.00	\$92,630.00	\$345.00	\$108,330.00
6. 714.3022 End Sect-Conc Reinf 24In Cl III-Storm Drain	EA	1	\$1,500.00	\$1,500.00	\$2,630.00	\$2,630.00	\$2,500.00	\$2,500.00	\$2,875.00	\$2,875.00
7. 714.3035 End Sect-Conc Reinf 36In Cl III-Storm Drain	EA	1	\$2,500.00	\$2,500.00	\$4,730.00	\$4,730.00	\$4,500.00	\$4,500.00	\$5,175.00	\$5,175.00
8. 714.3055 End Sect-Conc Reinf 60In Cl III-Storm Drain	EA	1	\$4,000.00	\$4,000.00	\$8,940.00	\$8,940.00	\$8,500.00	\$8,500.00	\$9,775.00	\$9,775.00
9. 722.00001 Storm Sewer Control Structure	EA	1	\$28,000.00	\$28,000.00	\$20,000.00	\$20,000.00	\$19,000.00	\$19,000.00	\$23,750.00	\$23,750.00
10. 722.00002 Manhole - Multi	EA	1	\$22,000.00	\$22,000.00	\$33,600.00	\$33,600.00	\$32,000.00	\$32,000.00	\$40,000.00	\$40,000.00
11. C-002 Temporary Pumping	DAY	153	\$250.00	\$38,250.00	\$231.00	\$35,343.00	\$400.00	\$61,200.00	\$275.00	\$42,075.00
12. C-002 Temporary Access	LSUM	1	\$5,000.00	\$5,000.00	\$11,000.00	\$11,000.00	\$20,000.00	\$20,000.00	\$15,000.00	\$15,000.00
13. C-505 6" Irrigation Conduit	LF	342	\$35.00	\$11,970.00	\$5.95	\$2,034.90	\$20.00	\$6,840.00	\$18.00	\$6,156.00
<u>General Items</u>										
1. 15000 Storm Water Management	LSUM	1	\$2,500.00	\$2,500.00	\$4,950.00	\$4,950.00	\$12,000.00	\$12,000.00	\$5,000.00	\$5,000.00
2. C-003 Tree Protection Plan	LSUM	1	\$1,000.00	\$1,000.00	\$4,950.00	\$4,950.00	\$8,500.00	\$8,500.00	\$5,750.00	\$5,750.00
3. 203.00001 Rear Yard Grading	SY	8,840	\$2.75	\$24,310.00	\$2.45	\$21,658.00	\$4.00	\$35,360.00	\$2.75	\$24,310.00
4. 203.0109 Topsoil	CY	11,150	\$5.00	\$55,750.00	\$4.85	\$54,077.50	\$3.00	\$33,450.00	\$6.00	\$66,900.00
5. 251.00002 Mowing	ACRE	90.0	\$90.00	\$8,100.00	\$42.10	\$3,789.00	\$50.00	\$4,500.00	\$46.00	\$4,140.00
6. 251.0300 Seeding Class III	ACRE	17.5	\$780.00	\$13,650.00	\$788.00	\$13,790.00	\$900.00	\$15,750.00	\$862.50	\$15,093.75
7. 253.0101 Straw Mulch	ACRE	31.4	\$325.00	\$10,205.00	\$331.00	\$10,393.40	\$350.00	\$10,990.00	\$362.25	\$11,374.65
8. 253.0201 Hydraulic Mulch	ACRE	8.1	\$1,680.00	\$13,608.00	\$1,680.00	\$13,608.00	\$1,800.00	\$14,580.00	\$1,840.00	\$14,904.00
9. 265.0100 Stabilized Construction Access	EA	2	\$1,000.00	\$2,000.00	\$3,300.00	\$6,600.00	\$4,500.00	\$9,000.00	\$931.50	\$1,863.00
10. 704.1100 Traffic Control	LSUM	1	\$5,500.00	\$5,500.00	\$5,100.00	\$5,100.00	\$5,200.00	\$5,200.00	\$5,577.50	\$5,577.50
11. 708.1540 Inlet Protection-Special	EA	87	\$100.00	\$8,700.00	\$89.40	\$7,777.80	\$105.00	\$9,135.00	\$97.75	\$8,504.25
12. 752.0850 Ornamental Fence	LF	1,327	\$75.00	\$99,525.00	\$71.50	\$94,880.50	\$75.00	\$99,525.00	\$78.25	\$103,837.75
13. 970.0095 Herbicide Weed Control	ACRE	17.5	\$200.00	\$3,500.00	\$205.00	\$3,587.50	\$225.00	\$3,937.50	\$225.00	\$3,937.50

Sewer, Water, Storm and Street Improvement District No. 1321
 The Wilds 11th Addition
 West Fargo ND
 Project No. 20358
 Bid Date: May 14,2019

Dakota Underground Company
 4001 15th Ave NW
 Fargo, ND 58102

Border States Paving, Inc.
 PO Box 2586
 Fargo, ND 58108-2586

Fox Underground, Inc.
 PO Box 739
 West fargo, ND 58078

Northern Improvement Company
 PO Box 2846
 Fargo, ND 58108-2846

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
Electrical Items										
1. 26000 Concrete Base - 5'	Each	46	\$1,200.00	\$55,200.00	\$1,190.00	\$54,740.00	\$600.00	\$27,600.00	\$1,305.00	\$60,030.00
2. 26000 Conductor - #6 USE/Cu.	LF	22,680	\$1.40	\$31,752.00	\$1.40	\$31,752.00	\$2.00	\$45,360.00	\$1.55	\$35,154.00
3. 26000 Innerduct - 1.5" PVC	LF	7,560	\$3.35	\$25,326.00	\$3.35	\$25,326.00	\$6.00	\$45,360.00	\$3.70	\$27,972.00
4. 26000 Light Standard - Single LED and 14' Post	Each	46	\$1,800.00	\$82,800.00	\$1,790.00	\$82,340.00	\$2,400.00	\$110,400.00	\$1,960.00	\$90,160.00
5. 26000 Light Standard Spare - Single LED and 14' Post	Each	5	\$1,800.00	\$9,000.00	\$1,790.00	\$8,950.00	\$2,400.00	\$12,000.00	\$1,960.00	\$9,800.00
6. 26000 Tracer Wire - #12	LF	7,560	\$0.60	\$4,536.00	\$0.58	\$4,384.80	\$0.50	\$3,780.00	\$0.65	\$4,914.00
7. 26000 Feedpoint	Each	1	\$9,000.00	\$9,000.00	\$9,110.00	\$9,110.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00
TOTAL OF ALL BID PRICES				\$3,993,478.55 [C]		\$4,462,818.85		\$4,627,591.25		\$4,985,117.05

NOTICE OF AWARD

Date of Issuance: May 20, 2019

Owner: City of West Fargo

Owner's Contract No.:

Engineer: Moore Engineering, Inc.

Engineer's Project No.: 20358

Project: The Wilds 11th Addition

Sewer, Water, Storm and Street
Contract Name: Improvement District No. 1321

Bidder: Dakota Underground Company

Bidder's Address: 4001 15th Ave NW Fargo, ND 58102

TO BIDDER:

You are notified that Owner has accepted your Bid dated May 14, 2019 for the above Contract, and that you are the Successful Bidder and are awarded a Contract for: Sewer, Water, Storm and Street Improvement District No. 1321.

The Contract Price of the awarded Contract is: \$3,993,478.55

3 unexecuted counterparts of the Agreement accompany this Notice of Award, and three copies of the Contract Documents accompanies this Notice of Award, or has been transmitted or made available to Bidder electronically.

3 sets of the Drawings will be delivered separately from the other Contract Documents.

You must comply with the following conditions precedent within 10 days of the date of receipt of this Notice of Award:

1. Deliver to Owner 3 counterparts of the Agreement, fully executed by Bidder.
2. Deliver with the executed Agreement(s) the Contract security [*e.g., performance and payment bonds*] and insurance documentation as specified in the Instructions to Bidders and General Conditions, Articles 2 and 6.
3. Other conditions precedent (if any):

Failure to comply with these conditions within the time specified will entitle Owner to consider you in default, annul this Notice of Award, and declare your Bid security forfeited.

Within ten days after you comply with the above conditions, Owner will return to you one fully executed counterpart of the Contract Documents.

Owner: City of West Fargo

Authorized Signature

By: Bernie L. Dardis

Title: President of the Board of City Commissioners

Copy: Engineer

May 20, 2019

Board of City Commissioners
City of West Fargo
800 4th Avenue East
West Fargo, ND 58078

RE: Sewer, Water, Storm & Street Improvement District No. 1234
The Wilds 11th Addition
West Fargo, ND

WHEREAS, bids have been opened for Sewer, Water, Storm and Street Improvement District No. 1321 of the City of West Fargo, North Dakota and;

WHEREAS, an estimate of the cost of work is required by the Engineer for the City of West Fargo, North Dakota;

NOW, THEREFORE, I, Dustin T. Scott, do hereby certify as follows:

That I am the City Engineer for the City of West Fargo, North Dakota;

That the following is a careful and detailed statement of the estimated cost of the work in said Sewer, Water, Storm and Street Improvement District No. 1321 of the City of West Fargo, North Dakota.

IN WITNESS WHEREOF, I have set my hand and seal _____ day of _____, 2019.

DUSTIN T. SCOTT
ND REG. NO. 6257

Engineer for the City of West Fargo, ND



Sewer, Water, Storm and Street Improvement District No. 1321
The Wilds 11th Addition
West Fargo ND
Project No. 20358

ENGINEER'S STATEMENT OF ESTIMATED COST

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE
<u>Sanitary Sewer Items</u>				
1. 24200 Removal of Sanitary Sewer Cleanout	EA	1	\$500.00	\$500.00
2. 330130.11 Televiser - Mainline	LF	3,140	\$2.00	\$6,280.00
3. 330130.11 Televiser - Service	LF	4,811	\$2.00	\$9,622.00
4. 330561 Sanitary Sewer Manhole - 48"	EA	14	\$7,000.00	\$98,000.00
5. 330561 Sanitary Sewer Manhole - 60"	EA	2	\$10,000.00	\$20,000.00
6. 333111 Sanitary Sewer - 8" PVC SDR 26	LF	2,391	\$65.00	\$155,415.00
7. 333111 Sanitary Sewer - 8" PVC SDR 35	LF	749	\$32.00	\$23,968.00
8. 333111 Sanitary Sewer Cleanout	EA	4	\$700.00	\$2,800.00
9. 333111 Sanitary Sewer Service - 6" PVC SDR 26	LF	4,811	\$21.00	\$101,031.00
10. 333111 Sanitary Sewer Service Connection	EA	68	\$500.00	\$34,000.00
<u>Watermain Items</u>				
1. 331413 Fittings	LBS	2,417	\$3.00	\$7,251.00
2. 331413 Water Main - 6" PVC C900	LF	40	\$27.00	\$1,080.00
3. 331413 Water Main - 8" PVC C900	LF	3,540	\$25.00	\$88,500.00
4. 331417 Water Service Connection - 1"	EA	68	\$600.00	\$40,800.00
5. 331417 Water Service Line - 1"	LF	2,927	\$17.00	\$49,759.00
6. 331419 Gate Valve & Box - 6"	EA	8	\$1,100.00	\$8,800.00
7. 331419 Gate Valve & Box - 8"	EA	6	\$1,600.00	\$9,600.00
8. 331419 Hydrant - 6"	EA	8	\$4,500.00	\$36,000.00
<u>Storm Sewer Items</u>				
1. 202.0170 Removal of Culverts-All Types & Sizes	LF	55	\$25.00	\$1,375.00
2. 714.0115 Pipe Conc Reinf 12In Cl III-Storm Drain	LF	656	\$42.00	\$27,552.00
3. 714.0210 Pipe Conc Reinf 15In Cl III-Storm Drain	LF	1,390	\$45.00	\$62,550.00
4. 714.0315 Pipe Conc Reinf 18In Cl III-Storm Drain	LF	352	\$47.00	\$16,544.00
5. 714.0405 Pipe Conc Reinf 21In Cl III-Storm Drain	LF	47	\$52.00	\$2,444.00
6. 714.0620 Pipe Conc Reinf 24In Cl III-Storm Drain	LF	465	\$56.00	\$26,040.00
7. 714.0710 Pipe Conc Reinf 27In Cl III-Storm Drain	LF	161	\$73.00	\$11,753.00
8. 714.0825 Pipe Conc Reinf 30In Cl III-Storm Drain	LF	443	\$79.00	\$34,997.00
9. 714.0910 Pipe Conc Reinf 36In Cl III-Storm Drain	LF	146	\$104.00	\$15,184.00
10. 714.1010 Pipe Conc Reinf 42In Cl III-Storm Drain	LF	492	\$145.00	\$71,340.00
11. 714.3005 End Sect-Conc Reinf 15In	EA	1	\$1,500.00	\$1,500.00
12. 714.4092 Pipe Conduit 12In-Storm Drain	LF	1,604	\$26.00	\$41,704.00
13. 714.4097 Pipe Conduit 15In-Storm Drain	LF	160	\$31.00	\$4,960.00
14. C-002 Adjust Existing - Special	LSum	1	\$45,000.00	\$45,000.00
15. 722.0100 Manhole 48In	EA	13	\$2,900.00	\$37,700.00
16. 722.0110 Manhole 60In	EA	10	\$4,200.00	\$42,000.00
17. 722.0120 Manhole 72In	EA	3	\$6,000.00	\$18,000.00
18. 722.0130 Manhole 84In	EA	1	\$10,000.00	\$10,000.00
19. 722.3510 Inlet-Type 2	EA	17	\$2,500.00	\$42,500.00
20. 722.4000 Inlet Catch Basin-Type A	EA	19	\$1,500.00	\$28,500.00
21. 714.9680 Plug Pipe-All Types & Sizes	EA	3	\$8,000.00	\$24,000.00
22. C-404 PTO Lift Station Removal	LSum	1	\$20,000.00	\$20,000.00
<u>Roadway Items</u>				
1. 202.0114 Removal of Concrete Pavement	SY	71	\$15.00	\$1,065.00
2. 202.0130 Removal of Curb & Gutter	LF	101	\$5.00	\$505.00
3. 202.0132 Removal of Bituminous Surfacing	SY	337	\$10.00	\$3,370.00
4. 203.0101 Common Excavation-Type A	CY	64,114	\$5.00	\$320,570.00

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE
5. 203.0140 Borrow-Excavation	CY	77,171	\$2.25	\$173,634.75
6. 230.00001 Subgrade Preparation-Type A-12In	SY	28,940	\$1.75	\$50,645.00
7. 302.0121 Aggregate Base Course CI 5	CY	7,235	\$32.00	\$231,520.00
8. 430.0042 Superpave FAA 42	TON	6,950	\$70.00	\$486,500.00
9. 709.0151 Geosynthetic Material Type R1	SY	28,940	\$1.75	\$50,645.00
10. 714.9696 Edgedrain Non Permeable Base	LF	15,437	\$5.00	\$77,185.00
11. 748.0140 Curb & Gutter-Type I	LF	15,437	\$16.00	\$246,992.00
12. 750.0020 Pigmented Concrete	SY	125	\$140.00	\$17,500.00
13. 750.0030 Pigmented Imprinted Concrete	SY	4	\$170.00	\$680.00
14. 750.0115 Sidewalk Concrete 4In	SY	1,669	\$40.00	\$66,760.00
15. 750.0125 Sidewalk Concrete 5In	SY	3,024	\$42.00	\$127,008.00
16. 750.0140 Sidewalk Concrete 6In	SY	257	\$45.00	\$11,565.00
17. 750.1020 Driveway Concrete 7In Reinforced	SY	356	\$60.00	\$21,360.00
18. 750.1021 Driveway Concrete 8In Reinforced	SY	124	\$75.00	\$9,300.00
19. 750.2115 Detectable Warning Panels	SF	580	\$40.00	\$23,200.00
20. 754.0110 Flat Sheet For Signs-Type XI Refl Sheeting	SF	222	\$16.00	\$3,552.00
21. 772.2215 Pedestrian Pushbutton & Sign	EA	2	\$3,700.00	\$7,400.00
22. 754.0206 Steel Galv Posts-Telescoping Perforated Tube	LF	463	\$11.00	\$5,093.00
23. 762.1315 Preformed Patterned Pvmt Mk 12In Line-Grooved	LF	48	\$21.00	\$1,008.00
24. 762.1325 Preformed Patterned Pvmt Mk 24In Line-Grooved	LF	330	\$36.00	\$11,880.00
25. C-002 Cluster Box Unit - 12 Unit	EA	3	\$1,800.00	\$5,400.00
26. C-002 Cluster Box Unit - 13 Unit	EA	1	\$1,800.00	\$1,800.00
27. C-002 Cluster Box Unit - 8 Unit	EA	19	\$1,700.00	\$32,300.00
<u>Pond Items</u>				
1. 255.0101 Ecb Type 1	SY	11,349	\$1.20	\$13,618.80
2. 256.0500 Riprap-Special	CY	34	\$300.00	\$10,200.00
3. 714.0620 Pipe Conc Reinf 24In CI III-Storm Drain	LF	47	\$87.00	\$4,089.00
4. 714.0910 Pipe Conc Reinf 36In CI III-Storm Drain	LF	266	\$133.00	\$35,378.00
5. 714.1312 Pipe Conc Reinf 60In CI III-Storm Drain	LF	314	\$266.00	\$83,524.00
6. 714.3022 End Sect-Conc Reinf 24In CI III-Storm Drain	EA	1	\$1,500.00	\$1,500.00
7. 714.3035 End Sect-Conc Reinf 36In CI III-Storm Drain	EA	1	\$2,500.00	\$2,500.00
8. 714.3055 End Sect-Conc Reinf 60In CI III-Storm Drain	EA	1	\$4,000.00	\$4,000.00
9. 722.00001 Storm Sewer Control Structure	EA	1	\$28,000.00	\$28,000.00
10. 722.00002 Manhole - Multi	EA	1	\$22,000.00	\$22,000.00
11. C-002 Temporary Pumping	DAY	153	\$250.00	\$38,250.00
12. C-002 Temporary Access	L SUM	1	\$5,000.00	\$5,000.00
13. C-505 6" Irrigation Conduit	LF	342	\$35.00	\$11,970.00
<u>General Items</u>				
1. 15000 Storm Water Management	LSUM	1	\$2,500.00	\$2,500.00
2. C-003 Tree Protection Plan	LSUM	1	\$1,000.00	\$1,000.00
3. 203.00001 Rear Yard Grading	SY	8,840	\$2.75	\$24,310.00
4. 203.0109 Topsoil	CY	11,150	\$5.00	\$55,750.00
5. 251.00002 Mowing	ACRE	90	\$90.00	\$8,100.00
6. 251.0300 Seeding Class III	ACRE	18	\$780.00	\$13,650.00
7. 253.0101 Straw Mulch	ACRE	31	\$325.00	\$10,205.00
8. 253.0201 Hydraulic Mulch	ACRE	8	\$1,680.00	\$13,608.00
9. 265.0100 Stabilized Construction Access	EA	2	\$1,000.00	\$2,000.00
10. 704.1100 Traffic Control	L SUM	1	\$5,500.00	\$5,500.00
11. 708.1540 Inlet Protection-Special	EA	87	\$100.00	\$8,700.00
12. 752.0850 Ornamental Fence	LF	1,327	\$75.00	\$99,525.00
13. 970.0095 Herbicide Weed Control	ACRE	18	\$200.00	\$3,500.00
<u>Electrical Items</u>				
1. 26000 Concrete Base - 5'	Each	46	\$1,200.00	\$55,200.00
2. 26000 Conductor - #6 USE/Cu.	LF	22,680	\$1.40	\$31,752.00

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE
3. 26000 Innerduct - 1.5" PVC	LF	7,560	\$3.35	\$25,326.00
4. 26000 Light Standard - Single LED and 14' Post	Each	46	\$1,800.00	\$82,800.00
5. 26000 Light Standard Spare - Single LED and 14' Post	Each	5	\$1,800.00	\$9,000.00
6. 26000 Tracer Wire - #12	LF	7,560	\$0.60	\$4,536.00
7. 26000 Feedpoint	Each	1	\$9,000.00	\$9,000.00
Construction Subtotal				\$3,993,478.55
Contingencies				\$399,521.45
Construction Subtotal				\$4,393,000.00
Study & Report				\$10,000.00
Engineering (11%)				\$483,230.00
Additional Consultanting Services				\$70,600.00
Development Hook-Up Fee				\$142,557.00
Legal & Administration				\$219,650.00
Bond Discount				\$175,000.00
TOTAL COST				\$5,494,037.00



ENGINEERING DEPARTMENT

800 4 Ave E, Suite 1
West Fargo, ND 58078
701.433.5300
www.westfargond.gov

AGENDA ITEM REQUEST
BOARD OF CITY COMMISSIONERS
WEST FARGO, NORTH DAKOTA

OFFICE USE:
AGENDA ITEM # _____

** "Consent" or "Regular" Agenda Item? **Regular** **

1. CONTACT PERSON(s):
 - Dustin T. Scott, City Engineer (433-5425)
2. DATE OF MEETING: **May 20, 2019**
3. DESCRIPTION OF REQUEST:
 - Review letter prepared by Moore Engineering including bid results and a recommendation to award a construction contract for *Sewer, Water, Storm and Street Improvement District No. 1322*
 - Review Engineer's Statement of Cost for *Sewer, Water, Storm and Street Improvement District No. 1322 (pursuant to N.D.C.C. 40-22-29)*.
4. LOCATION (address; legal; etc.):
 - Eaglewood 7th Addition
5. ACTION(S) REQUESTED:
 1. Award construction contract for *Sewer, Water, Storm and Street Improvement District No. 1322* to Dakota Underground Company in the amount of \$1,719,099.35



925 10th Avenue East
West Fargo, ND 58078

P: 701.282.4692
F: 701.282.4530



May 16, 2019

Dustin T. Scott, PE
City Engineer
City of West Fargo
800 4th Avenue East
West Fargo ND 58078

Re: Sewer, Water, Storm and Street Improvement District No. 1322
Eaglewood 7th Addition
West Fargo, ND

Dear Dustin:

Bids were opened for the above referenced project on May 7, 2019 at 10:00 a.m. at West Fargo City Hall. The bids were compiled and the bid tabulation is enclosed for your review.

I hereby recommend award of contract to Dakota Underground Company for their bid of \$1,719,099.35.

Our Engineer's Opinion of Probable Cost with the Engineer's Report was \$1,900,000.00. Our final engineer's estimate was \$1,906,000.00.

Please review and provide comment at your earliest convenience. If you do not have any questions or comments, please present it to the West Fargo City Commission. To meet the project's proposed schedule, this project is anticipated to be awarded by the City Commission on May 20, 2019. If the contract is awarded by the Commission, please sign, date, and return the enclosed Notice of Award.

Also enclosed is the Engineer's Statement of Cost for your review and approval. Please sign the letter and return upon your approval.

Lastly, enclosed is an updated allocation for the Special Assessments of the properties benefitting from the project, based on the City's Special Assessment Policy and the provided Engineer's Statement of Cost.

Sincerely,

Steve W. Iverson, MBA
Project Manager

Enclosures:

- Bid Tabulations
- Notice of Award
- Engineer's Statement of Cost
- Special Assessment Allocations based on Bid Results

Sewer, Water, Storm and Street Improvement District No. 1322
 Eaglewood 7th Addition
 West Fargo ND
 Project No. 20476A
 Bid Date: May 7, 2019

Dakota Underground Company
 4001 15th Ave NW
 Fargo, ND 58102

Dirt Dynamics, LLC
 4206 3rd Ave N
 Fargo, ND 58102

Fox Underground, Inc.
 PO Box 739
 West Fargo, ND 58078

Jensen Brothers Construction, Inc.
 2852 Thunder Rd S
 Fargo, ND 58104

[C] = Corrected Amount

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	
Sanitary Sewer Items											
1. 24200.00 Removal of Sanitary Sewer	LF	31	\$10.00	\$310.00	\$8.00	\$248.00	\$16.00	\$496.00	\$24.81	\$769.11	
2. 24200 Removal of Sanitary Sewer Cleanout	EA	3	\$100.00	\$300.00	\$100.00	\$300.00	\$125.00	\$375.00	\$248.17	\$744.51	
3. 330130.11 Televiser - Mainline	LF	2,584	\$2.00	\$5,168.00	\$1.75	\$4,522.00	\$1.75	\$4,522.00	\$2.79	\$7,209.36	
4. 330130.11 Televiser - Service	LF	5,218	\$1.00	\$5,218.00	\$1.75	\$9,131.50	\$1.75	\$9,131.50	\$2.79	\$14,558.22	
5. 330561 Sanitary Sewer - Connect to Existing Manhole	EA	2	\$1,500.00	\$3,000.00	\$1,500.00	\$3,000.00	\$750.00	\$1,500.00	\$1,861.21	\$3,722.42	
6. 330561 Sanitary Sewer Manhole - 48"	EA	5	\$4,600.00	\$23,000.00	\$4,800.00	\$24,000.00	\$5,500.00	\$27,500.00	\$8,065.25	\$40,326.25	
7. 333111 Sanitary Sewer - 8" PVC SDR 35	LF	2,584	\$30.00	\$77,520.00	\$35.00	\$90,440.00	\$30.00	\$77,520.00	\$43.43	\$112,223.12	
8. 333111 Sanitary Sewer Service - 6" PVC SDR 26	LF	5,218	\$19.00	\$99,142.00	\$23.50	\$122,623.00	\$25.00	\$130,450.00	\$34.74	\$181,273.32	
9. 333111 Sanitary Sewer Service Connection	EA	83	\$270.00	\$22,410.00	\$422.00	\$35,026.00	\$725.00	\$60,175.00	\$1,116.73	\$92,688.59	
Water Main Items											
1. 24200 Removal of Gate Valve	EA	2	\$100.00	\$200.00	\$450.00	\$900.00	\$225.00	\$450.00	\$434.29	\$868.58	
2. 24200 Removal of Hydrant	EA	2	\$500.00	\$1,000.00	\$600.00	\$1,200.00	\$750.00	\$1,500.00	\$1,861.21	\$3,722.42	
3. 331413 Fittings	LBS	1,208	\$2.50	\$3,020.00	\$3.54	\$4,276.32	\$5.00	\$6,040.00	\$7.44	\$8,987.52	
4. 331413 Water Main - 10" PVC C900	LF	609	\$35.00	\$21,315.00	\$30.00	\$18,270.00	\$33.00	\$20,097.00	\$44.67	\$27,204.03	
5. 331413 Water Main - 6" PVC C900	LF	30	\$27.00	\$810.00	\$28.00	\$840.00	\$30.00	\$900.00	\$44.67	\$1,340.10	
6. 331413 Water Main - 8" PVC C900	LF	1,920	\$27.00	\$51,840.00	\$24.00	\$46,080.00	\$28.00	\$53,760.00	\$39.70	\$76,224.00	
7. 331417 Water Service Connection - 1"	EA	83	\$460.00	\$38,180.00	\$900.00	\$74,700.00	\$550.00	\$45,650.00	\$744.49	\$61,792.67	
8. 331417 Water Service Line - 1"	LF	3,583	\$17.00	\$60,911.00	\$15.00	\$53,745.00	\$12.00	\$42,996.00	\$18.61	\$66,679.63	
9. 331419 Gate Valve & Box - 10"	EA	3	\$2,200.00	\$6,600.00	\$2,250.00	\$6,750.00	\$2,300.00	\$6,900.00	\$3,102.02	\$9,306.06	
10. 331419 Gate Valve & Box - 6"	EA	4	\$1,100.00	\$4,400.00	\$1,200.00	\$4,800.00	\$1,200.00	\$4,800.00	\$1,861.21	\$7,444.84	
11. 331419 Gate Valve & Box - 8"	EA	10	\$1,600.00	\$16,000.00	\$1,600.00	\$16,000.00	\$1,750.00	\$17,500.00	\$2,481.61	\$24,816.10	
12. 331419 Hydrant - 6"	EA	4	\$4,500.00	\$18,000.00	\$4,250.00	\$17,000.00	\$4,100.00	\$16,400.00	\$5,583.63	\$22,334.52	
Storm Sewer Items											
1. 202.0170 Removal of Culverts-All Types & Sizes	LF	10	\$20.00	\$200.00	\$20.00	\$200.00	\$16.00	\$160.00	\$24.81	\$248.10	
2. 714.0210 Pipe Conc Reinf 15In Cl III-Storm Drain	LF	743	\$42.00	\$31,206.00	\$35.00	\$26,005.00	\$32.00	\$23,776.00	\$42.18	\$31,339.74	
3. 714.0315 Pipe Conc Reinf 18In Cl III-Storm Drain	LF	549	\$46.00	\$25,254.00	\$39.00	\$21,411.00	\$36.00	\$19,764.00	\$47.15	\$25,885.35	
4. 714.0620 Pipe Conc Reinf 24In Cl III-Storm Drain	LF	374	\$55.00	\$20,570.00	\$51.00	\$19,074.00	\$48.00	\$17,952.00	\$62.04	\$23,202.96	
5. 714.0910 Pipe Conc Reinf 36In Cl III-Storm Drain	LF	563	\$100.00	\$56,300.00	\$101.00	\$56,863.00	\$90.00	\$50,670.00	\$116.64	\$65,668.32	
6. 714.1002 Pipe Conc Reinf 42In Cl II-Storm Drain	LF	46	\$145.00	\$6,670.00	\$134.00	\$6,164.00	\$136.00	\$6,256.00	\$173.71	\$7,990.66	
7. 714.4092 Pipe Conduit 12In-Storm Drain	LF	212	\$26.00	\$5,512.00	\$22.00	\$4,664.00	\$22.00	\$4,664.00	\$29.78	\$6,313.36	

Sewer, Water, Storm and Street Improvement District No. 1322
 Eaglewood 7th Addition
 West Fargo ND
 Project No. 20476A
 Bid Date: May 7, 2019

Dakota Underground Company
 4001 15th Ave NW
 Fargo, ND 58102

Dirt Dynamics, LLC
 4206 3rd Ave N
 Fargo, ND 58102

Fox Underground, Inc.
 PO Box 739
 West Fargo, ND 58078

Jensen Brothers Construction, Inc.
 2852 Thunder Rd S
 Fargo, ND 58104

[C] = Corrected Amount

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE						
8. 714.9680 Plug Pipe-All Types & Sizes	EA	1	\$500.00	\$500.00	\$500.00	\$500.00	\$450.00	\$450.00	\$930.61	\$930.61
9. 722.00001 Storm Sewer Control Structure	EA	1	\$10,000.00	\$10,000.00	\$11,000.00	\$11,000.00	\$15,000.00	\$15,000.00	\$29,779.38	\$29,779.38
10. 722.0100 Manhole 48In	EA	6	\$2,650.00	\$15,900.00	\$2,500.00	\$15,000.00	\$2,300.00	\$13,800.00	\$3,474.26	\$20,845.56
11. 722.0110 Manhole 60In	EA	2	\$3,400.00	\$6,800.00	\$3,500.00	\$7,000.00	\$3,400.00	\$6,800.00	\$4,590.99	\$9,181.98
12. 722.0120 Manhole 72In	EA	1	\$5,000.00	\$5,000.00	\$5,450.00	\$5,450.00	\$5,000.00	\$5,000.00	\$6,700.36	\$6,700.36
13. 722.0130 Manhole 84In	EA	2	\$6,500.00	\$13,000.00	\$7,100.00	\$14,200.00	\$6,400.00	\$12,800.00	\$8,437.49	\$16,874.98
14. 722.3510 Inlet-Type 2	EA	11	\$2,500.00	\$27,500.00	\$2,560.00	\$28,160.00	\$2,000.00	\$22,000.00	\$2,853.86	\$31,392.46
15. 722.4000 Inlet Catch Basin-Type A	EA	1	\$1,450.00	\$1,450.00	\$1,300.00	\$1,300.00	\$1,500.00	\$1,500.00	\$2,357.54	\$2,357.54
Roadway Items										
1. 202.0130 Removal of Curb & Gutter	LF	24	\$5.00	\$120.00	\$15.00	\$360.00	\$10.00	\$240.00	\$5.00	\$120.00
2. 202.0132 Removal of Bituminous Surfacing	SY	32	\$10.00	\$320.00	\$16.00	\$512.00	\$15.00	\$480.00	\$10.00	\$320.00
3. 203.0101 Common Excavation-Type A	CY	1,303	\$5.00	\$6,515.00	\$4.00	\$5,212.00	\$2.25	\$2,931.75	\$1.79	\$2,332.37
4. 203.0113 Common Excavation-Waste	CY	51,267	\$5.10	\$261,461.70	\$5.00	\$256,335.00	\$4.00	\$205,068.00	\$2.95	\$151,237.65
5. 203.0201 Embankment-Type A	CY	1,303	\$3.50	\$4,560.50	\$4.00	\$5,212.00	\$2.50	\$3,257.50	\$2.25	\$2,931.75
6. 230.00001 Subgrade Preparation-Type A-12In	SY	8,895	\$1.75	\$15,566.25	\$2.00	\$17,790.00	\$2.75	\$24,461.25	\$2.50	\$22,237.50
7. 302.0121 Aggregate Base Course Cl 5	CY	2,419	\$31.00	\$74,989.00	\$32.00	\$77,408.00	\$37.00	\$89,503.00	\$33.15	\$80,189.85
8. 430.0042 Superpave FAA 42	TON	2,095	\$64.00	\$134,080.00	\$63.00	\$131,985.00	\$63.00	\$131,985.00	\$74.20	\$155,449.00
9. 709.0151 Geosynthetic Material Type R1	SY	8,895	\$1.75	\$15,566.25	\$1.90	\$16,900.50	\$2.25	\$20,013.75	\$1.96	\$17,434.20
10. 714.9696 Edgedrain Non Permeable Base	LF	5,065	\$5.00	\$25,325.00	\$5.50	\$27,857.50	\$6.00	\$30,390.00	\$4.50	\$22,792.50
11. 748.0140 Curb & Gutter-Type I	LF	5,062	\$16.00	\$80,992.00	\$16.50	\$83,523.00	\$17.00	\$86,054.00	\$19.05	\$96,431.10
12. 750.0030 Pigmented Imprinted Concrete	SY	10	\$95.00	\$950.00	\$158.00	\$1,580.00	\$190.00	\$1,900.00	\$186.12	\$1,861.20
13. 750.0115 Sidewalk Concrete 4In	SY	486	\$40.00	\$19,440.00	\$48.00	\$23,328.00	\$52.00	\$25,272.00	\$55.83	\$27,133.38
14. 750.0140 Sidewalk Concrete 6In	SY	40	\$45.00	\$1,800.00	\$126.00	\$5,040.00	\$130.00	\$5,200.00	\$148.90	\$5,956.00
15. 750.1021 Driveway Concrete 8In Reinforced	SY	35	\$60.00	\$2,100.00	\$76.00	\$2,660.00	\$80.00	\$2,800.00	\$89.34	\$3,126.90
16. 750.2115 Detectable Warning Panels	SF	80	\$40.00	\$3,200.00	\$34.00	\$2,720.00	\$38.00	\$3,040.00	\$39.70	\$3,176.00
17. 754.0110 Flat Sheet For Signs-Type XI Refl Sheeting	SF	36	\$30.00	\$1,080.00	\$30.50	\$1,098.00	\$35.00	\$1,260.00	\$29.78	\$1,072.08
18. 754.0206 Steel Galv Posts-Telescoping Perforated Tube	LF	30	\$20.00	\$600.00	\$20.00	\$600.00	\$23.00	\$690.00	\$35.80	\$1,074.00
19. 762.1140 Pvmt Mk Painted Curb Top & Face	LF	333	\$10.00	\$3,330.00	\$10.50	\$3,496.50	\$12.00	\$3,996.00	\$11.97	\$3,986.01
20. C-002 Cluster Box Unit - 12 Unit	EA	6	\$1,600.00	\$9,600.00	\$2,800.00	\$16,800.00	\$1,700.00	\$10,200.00	\$3,102.02	\$18,612.12
21. C-002 Cluster Box Unit - 8 Unit	EA	2	\$1,550.00	\$3,100.00	\$2,200.00	\$4,400.00	\$1,650.00	\$3,300.00	\$1,240.81	\$2,481.62

Sewer, Water, Storm and Street Improvement District No. 1322
 Eaglewood 7th Addition
 West Fargo ND
 Project No. 20476A
 Bid Date: May 7, 2019

Dakota Underground Company
 4001 15th Ave NW
 Fargo, ND 58102

Dirt Dynamics, LLC
 4206 3rd Ave N
 Fargo, ND 58102

Fox Underground, Inc.
 PO Box 739
 West Fargo, ND 58078

Jensen Brothers Construction, Inc.
 2852 Thunder Rd S
 Fargo, ND 58104

[C] = Corrected Amount

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
<u>Pond Items</u>										
1. 203.0101 Common Excavation-Type A-Pond	CY	78,454	\$2.65	\$207,903.10	\$2.00	\$156,908.00	\$3.25	\$254,975.50	\$2.90	\$227,516.60
2. 251.0300 Seeding Class II - Pond	ACRE	2.50	\$775.00	\$1,937.50	\$787.00	\$1,967.50	\$800.00	\$2,000.00	\$930.61	\$2,326.53
3. 253.0101 Straw Mulch - Pond	ACRE	0.50	\$355.00	\$177.50	\$367.00	\$183.50	\$375.00	\$187.50	\$434.29	\$217.15
4. 255.0101 Ecb Type 1	SY	8,872	\$1.15	\$10,202.80	\$1.15	\$10,202.80	\$1.30	\$11,533.60	\$1.36	\$12,065.92
5. 256.0500 Riprap-Special	CY	34	\$215.00	\$7,310.00	\$82.00	\$2,788.00	\$95.00	\$3,230.00	\$75.00	\$2,550.00
<u>General Items</u>										
1. 15000 Storm Water Management	LSUM	1	\$1,000.00	\$1,000.00	\$3,000.00	\$3,000.00	\$5,500.00	\$5,500.00	\$2,500.00	\$2,500.00
2. 203.00001 Rear Yard Grading	SY	2,819	\$2.50	\$7,047.50	\$2.00	\$5,638.00	\$2.25	\$6,342.75	\$1.70	\$4,792.30
3. 203.0109 Topsoil	CY	18,615	\$2.50	\$46,537.50	\$2.75	\$51,191.25	\$3.25	\$60,498.75	\$2.25	\$41,883.75
4. 251.00002 Mowing	ACRE	6.50	\$45.00	\$292.50	\$48.00	\$312.00	\$55.00	\$357.50	\$55.83	\$362.90
5. 251.0300 Seeding Class II	ACRE	6.50	\$775.00	\$5,037.50	\$788.00	\$5,122.00	\$825.00	\$5,362.50	\$930.61	\$6,048.97
6. 253.0101 Straw Mulch	ACRE	16.50	\$355.00	\$5,857.50	\$368.00	\$6,072.00	\$425.00	\$7,012.50	\$434.29	\$7,165.79
7. 253.0201 Hydraulic Mulch	ACRE	2.00	\$1,650.00	\$3,300.00	\$1,680.00	\$3,360.00	\$1,750.00	\$3,500.00	\$1,985.30	\$3,970.60
8. 261.0112 Fiber Rolls 12In	LF	30	\$5.00	\$150.00	\$5.25	\$157.50	\$6.00	\$180.00	\$6.20	\$186.00
9. 265.0100 Stabilized Construction Access	EA	1	\$1,000.00	\$1,000.00	\$1,500.00	\$1,500.00	\$4,500.00	\$4,500.00	\$2,500.00	\$2,500.00
10. 704.1100 Traffic Control	LSUM	1	\$1,500.00	\$1,500.00	\$1,505.00	\$1,505.00	\$1,700.00	\$1,700.00	\$2,171.42	\$2,171.42
11. 708.1540 Inlet Protection-Special	EA	32	\$100.00	\$3,200.00	\$131.00	\$4,192.00	\$175.00	\$5,600.00	\$155.10	\$4,963.20
<u>Electrical Items</u>										
1. 26000 Concrete Base - 5'	Each	16	\$450.00	\$7,200.00	\$466.00	\$7,456.00	\$750.00	\$12,000.00	\$868.56	\$13,896.96
2. 26000 Conductor - #6 USE/Cu.	LF	6,825	\$1.30	\$8,872.50	\$1.31	\$8,940.75	\$2.00	\$13,650.00	\$2.48	\$16,926.00
3. 26000 Innerduct - 1.5" PVC	LF	2,275	\$5.20	\$11,830.00	\$5.25	\$11,943.75	\$6.50	\$14,787.50	\$8.69	\$19,769.75
4. 26000 Light Standard - Single LED and 14' Post	Each	16	\$2,300.00	\$36,800.00	\$2,322.00	\$37,152.00	\$2,600.00	\$41,600.00	\$2,977.94	\$47,647.04
5. 26000 Light Standard Spare - Single LED and 14' Post	Each	1	\$2,200.00	\$2,200.00	\$2,205.00	\$2,205.00	\$2,200.00	\$2,200.00	\$2,345.13	\$2,345.13
6. 26000 Tracer Wire - #12	LF	2,275	\$0.37	\$841.75	\$0.37	\$841.75	\$1.25	\$2,843.75	\$1.24	\$2,821.00
TOTAL OF ALL BID PRICES				\$1,719,099.35		\$1,758,299.12 [C]		\$1,840,858.60		\$2,087,528.95 [C]

NOTICE OF AWARD

Date of Issuance: May 20, 2019

Owner: City of West Fargo

Owner's Contract No.:

Engineer: Moore Engineering, Inc.

Engineer's Project No.: 20476A

Project: Eaglewood 7th Addition

Contract Name: Sewer, Water, Storm and Street
Improvement No. 1322

Bidder: Dakota Underground Company

Bidder's Address: 4001 15th Ave NW, Fargo, ND 58102

TO BIDDER:

You are notified that Owner has accepted your Bid dated May 7, 2019 for the above Contract, and that you are the Successful Bidder and are awarded a Contract for: Sewer, Water, Storm and Street Improvement District No. 1322.

The Contract Price of the awarded Contract is: \$1,719,099.35

3 unexecuted counterparts of the Agreement accompany this Notice of Award, and three copies of the Contract Documents accompanies this Notice of Award, or has been transmitted or made available to Bidder electronically.

3 sets of the Drawings will be delivered separately from the other Contract Documents.

You must comply with the following conditions precedent within 10 days of the date of receipt of this Notice of Award:

1. Deliver to Owner 3 counterparts of the Agreement, fully executed by Bidder.
2. Deliver with the executed Agreement(s) the Contract security [*e.g., performance and payment bonds*] and insurance documentation as specified in the Instructions to Bidders and General Conditions, Articles 2 and 6.
3. Other conditions precedent (if any):

Failure to comply with these conditions within the time specified will entitle Owner to consider you in default, annul this Notice of Award, and declare your Bid security forfeited.

Within ten days after you comply with the above conditions, Owner will return to you one fully executed counterpart of the Contract Documents.

Owner: City of West Fargo

Authorized Signature

By: Bernie L. Dardis

Title: President of the Board of City Commissioners

Copy: Engineer

May 20, 2019

Board of City Commissioners
City of West Fargo
800 4th Avenue East
West Fargo, ND 58078

RE: Sewer, Water, Storm and Street Improvement District No. 1322
Eaglewood 7th Addition
West Fargo, ND

WHEREAS, bids have been opened for Sewer, Water, Storm and Street Improvement District No. 1322 of the City of West Fargo, North Dakota and;

WHEREAS, an estimate of the cost of work is required by the Engineer for the City of West Fargo, North Dakota;

NOW, THEREFORE, I, Dustin T. Scott, do hereby certify as follows:

That I am the City Engineer for the City of West Fargo, North Dakota;

That the following is a careful and detailed statement of the estimated cost of the work in said Sewer, Water, Storm and Street Improvement District No. 1322 of the City of West Fargo, North Dakota.

IN WITNESS WHEREOF, I have set my hand and seal _____ day of _____, 2019.

DUSTIN T. SCOTT
ND REG. NO. 6257

Engineer for the City of West Fargo, ND



Sewer, Water, Storm and Street Improvement District No. 1322
Eaglewood 7th Addition
West Fargo ND
Project No. 20476A
ENGINEER'S STATEMENT OF ESTIMATED COST

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE
<u>Sanitary Sewer Items</u>				
1. 24200.00 Removal of Sanitary Sewer	LF	31	\$10.00	\$310.00
2. 24200 Removal of Sanitary Sewer Cleanout	EA	3	\$100.00	\$300.00
3. 330130.11 Televiser - Mainline	LF	2,584	\$2.00	\$5,168.00
4. 330130.11 Televiser - Service	LF	5,218	\$1.00	\$5,218.00
5. 330561 Sanitary Sewer - Connect to Existing Manhole	EA	2	\$1,500.00	\$3,000.00
6. 330561 Sanitary Sewer Manhole - 48"	EA	5	\$4,600.00	\$23,000.00
7. 333111 Sanitary Sewer - 8" PVC SDR 35	LF	2,584	\$30.00	\$77,520.00
8. 333111 Sanitary Sewer Service - 6" PVC SDR 26	LF	5,218	\$19.00	\$99,142.00
9. 333111 Sanitary Sewer Service Connection	EA	83	\$270.00	\$22,410.00
<u>Water Main Items</u>				
1. 24200 Removal of Gate Valve	EA	2	\$100.00	\$200.00
2. 24200 Removal of Hydrant	EA	2	\$500.00	\$1,000.00
3. 331413 Fittings	LBS	1,208	\$2.50	\$3,020.00
4. 331413 Water Main - 10" PVC C900	LF	609	\$35.00	\$21,315.00
5. 331413 Water Main - 6" PVC C900	LF	30	\$27.00	\$810.00
6. 331413 Water Main - 8" PVC C900	LF	1,920	\$27.00	\$51,840.00
7. 331417 Water Service Connection - 1"	EA	83	\$460.00	\$38,180.00
8. 331417 Water Service Line - 1"	LF	3,583	\$17.00	\$60,911.00
9. 331419 Gate Valve & Box - 10"	EA	3	\$2,200.00	\$6,600.00
10. 331419 Gate Valve & Box - 6"	EA	4	\$1,100.00	\$4,400.00
11. 331419 Gate Valve & Box - 8"	EA	10	\$1,600.00	\$16,000.00
12. 331419 Hydrant - 6"	EA	4	\$4,500.00	\$18,000.00
<u>Storm Sewer Items</u>				
1. 202.0170 Removal of Culverts-All Types & Sizes	LF	10	\$20.00	\$200.00
2. 714.0210 Pipe Conc Reinf 15In Cl III-Storm Drain	LF	743	\$42.00	\$31,206.00
3. 714.0315 Pipe Conc Reinf 18In Cl III-Storm Drain	LF	549	\$46.00	\$25,254.00
4. 714.0620 Pipe Conc Reinf 24In Cl III-Storm Drain	LF	374	\$55.00	\$20,570.00
5. 714.0910 Pipe Conc Reinf 36In Cl III-Storm Drain	LF	563	\$100.00	\$56,300.00
6. 714.1002 Pipe Conc Reinf 42In Cl II-Storm Drain	LF	46	\$145.00	\$6,670.00
7. 714.4092 Pipe Conduit 12In-Storm Drain	LF	212	\$26.00	\$5,512.00
8. 714.9680 Plug Pipe-All Types & Sizes	EA	1	\$500.00	\$500.00
9. 722.00001 Storm Sewer Control Structure	EA	1	\$10,000.00	\$10,000.00
10. 722.0100 Manhole 48In	EA	6	\$2,650.00	\$15,900.00
11. 722.0110 Manhole 60In	EA	2	\$3,400.00	\$6,800.00
12. 722.0120 Manhole 72In	EA	1	\$5,000.00	\$5,000.00
13. 722.0130 Manhole 84In	EA	2	\$6,500.00	\$13,000.00
14. 722.3510 Inlet-Type 2	EA	11	\$2,500.00	\$27,500.00
15. 722.4000 Inlet Catch Basin-Type A	EA	1	\$1,450.00	\$1,450.00
<u>Roadway Items</u>				
1. 202.0130 Removal of Curb & Gutter	LF	24	\$5.00	\$120.00
2. 202.0132 Removal of Bituminous Surfacing	SY	32	\$10.00	\$320.00
3. 203.0101 Common Excavation-Type A	CY	1,303	\$5.00	\$6,515.00
4. 203.0113 Common Excavation-Waste	CY	51,267	\$5.10	\$261,461.70
5. 203.0201 Embankment-Type A	CY	1,303	\$3.50	\$4,560.50
6. 230.00001 Subgrade Preparation-Type A-12In	SY	8,895	\$1.75	\$15,566.25

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE
7. 302.0121 Aggregate Base Course CI 5	CY	2,419	\$31.00	\$74,989.00
8. 430.0042 Superpave FAA 42	TON	2,095	\$64.00	\$134,080.00
9. 709.0151 Geosynthetic Material Type R1	SY	8,895	\$1.75	\$15,566.25
10. 714.9696 Edgedrain Non Permeable Base	LF	5,065	\$5.00	\$25,325.00
11. 748.0140 Curb & Gutter-Type I	LF	5,062	\$16.00	\$80,992.00
12. 750.0030 Pigmented Imprinted Concrete	SY	10	\$95.00	\$950.00
13. 750.0115 Sidewalk Concrete 4In	SY	486	\$40.00	\$19,440.00
14. 750.0140 Sidewalk Concrete 6In	SY	40	\$45.00	\$1,800.00
15. 750.1021 Driveway Concrete 8In Reinforced	SY	35	\$60.00	\$2,100.00
16. 750.2115 Detectable Warning Panels	SF	80	\$40.00	\$3,200.00
17. 754.0110 Flat Sheet For Signs-Type XI Refl Sheeting	SF	36	\$30.00	\$1,080.00
18. 754.0206 Steel Galv Posts-Telescoping Perforated Tube	LF	30	\$20.00	\$600.00
19. 762.1140 Pvmt Mk Painted Curb Top & Face	LF	333	\$10.00	\$3,330.00
20. C-002 Cluster Box Unit - 12 Unit	EA	6	\$1,600.00	\$9,600.00
21. C-002 Cluster Box Unit - 8 Unit	EA	2	\$1,550.00	\$3,100.00
<u>Pond Items</u>				
1. 203.0101 Common Excavation-Type A-Pond	CY	78,454	\$2.65	\$207,903.10
2. 251.0300 Seeding Class II - Pond	ACRE	2.50	\$775.00	\$1,937.50
3. 253.0101 Straw Mulch - Pond	ACRE	0.50	\$355.00	\$177.50
4. 255.0101 Ecb Type 1	SY	8,872	\$1.15	\$10,202.80
5. 256.0500 Riprap-Special	CY	34	\$215.00	\$7,310.00
<u>General Items</u>				
1. 15000 Storm Water Management	LSUM	1	\$1,000.00	\$1,000.00
2. 203.00001 Rear Yard Grading	SY	2,819	\$2.50	\$7,047.50
3. 203.0109 Topsoil	CY	18,615	\$2.50	\$46,537.50
4. 251.00002 Mowing	ACRE	6.50	\$45.00	\$292.50
5. 251.0300 Seeding Class II	ACRE	6.50	\$775.00	\$5,037.50
6. 253.0101 Straw Mulch	ACRE	16.50	\$355.00	\$5,857.50
7. 253.0201 Hydraulic Mulch	ACRE	2.00	\$1,650.00	\$3,300.00
8. 261.0112 Fiber Rolls 12In	LF	30	\$5.00	\$150.00
9. 265.0100 Stabilized Construction Access	EA	1	\$1,000.00	\$1,000.00
10. 704.1100 Traffic Control	L SUM	1	\$1,500.00	\$1,500.00
11. 708.1540 Inlet Protection-Special	EA	32	\$100.00	\$3,200.00
<u>Electrical Items</u>				
1. 26000 Concrete Base - 5'	Each	16	\$450.00	\$7,200.00
2. 26000 Conductor - #6 USE/Cu.	LF	6,825	\$1.30	\$8,872.50
3. 26000 Innerduct - 1.5" PVC	LF	2,275	\$5.20	\$11,830.00
4. 26000 Light Standard - Single LED and 14' Post	Each	16	\$2,300.00	\$36,800.00
5. 26000 Light Standard Spare - Single LED and 14' Post	Each	1	\$2,200.00	\$2,200.00
6. 26000 Tracer Wire - #12	LF	2,275	\$0.37	\$841.75
Construction Subtotal				\$1,719,099.35
Contingencies				\$171,910.65
Total Construction				\$1,891,010.00
Study & Report				\$10,500.00
Land Acquisition				\$98,825.70
Engineering (11%)				\$208,011.10
Additional Consultanting Services				\$12,500.00
Development Hook-Up Fee				\$61,446.00
Legal & Administration				\$94,550.50
Bond Discount				\$75,000.00
TOTAL COST				\$2,451,844.00

Preliminary Special Assessment Allocations based on Bid Results

Eaglewood 7th Addition **Revised 5/15/19**
Sewer, Water, Storm and Street Imp. Dist. No. 1322 **Moore Proj: 20476A**

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Preliminary Assessment
Eaglewood 2nd Addition	1	3	02435100030000	1.00	0	2.27	2.27	10	\$8,585.55
Eaglewood 2nd Addition	1	5	02435100050000	1.00	0	0.24	0.24	1	\$907.68
Eaglewood 2nd Addition	1	6	02435100060000	1.00	0	0.22	0.22	1	\$825.20
Eaglewood 2nd Addition	1	7	02435100070000	1.00	0	0.22	0.22	1	\$825.20
Eaglewood 2nd Addition	1	8	02435100080000	1.00	0	0.22	0.22	1	\$825.20
Eaglewood 2nd Addition	1	9	02435100090000	1.00	0	0.22	0.22	1	\$825.20
Eaglewood 2nd Addition	1	10	02435100100000	1.00	0	0.22	0.22	1	\$825.20
Eaglewood 2nd Addition	1	11	02435100110000	1.00	0	0.22	0.22	1	\$836.61
Eaglewood 2nd Addition	1	12	02435100120000	1.00	0	0.34	0.34	1	\$1,280.94
Eaglewood 2nd Addition	1	13	02435100130000	1.00	0	0.44	0.44	2	\$1,656.85
Eaglewood 2nd Addition	1	14	02435100140000	1.00	0	0.25	0.25	1	\$936.51
Eaglewood 2nd Addition	1	15	02435100150000	1.00	0	0.24	0.24	1	\$915.87
Eaglewood 2nd Addition	1	16	02435100160000	1.00	0	0.24	0.24	1	\$915.87
Eaglewood 2nd Addition	1	17	02435100170000	1.00	0	0.24	0.24	1	\$915.87
Eaglewood 2nd Addition	1	18	02435100180000	1.00	0	0.24	0.24	1	\$915.87
Eaglewood 2nd Addition	1	19	02435100190000	1.00	0	0.24	0.24	1	\$915.87
Eaglewood 2nd Addition	1	20	02435100200000	1.00	0	0.24	0.24	1	\$915.87
Eaglewood 2nd Addition	1	21	02435100210000	1.00	0	0.24	0.24	1	\$915.87
Eaglewood 2nd Addition	1	22	02435100220000	1.00	0	0.24	0.24	1	\$915.87
Eaglewood 2nd Addition	1	23	02435100230000	1.00	0	0.27	0.27	1	\$1,005.32
Eaglewood 2nd Addition	1	24	02435100240000	1.00	0	0.27	0.27	1	\$1,039.53
Eaglewood 2nd Addition	1	25	02435100250000	1.00	0	0.25	0.25	1	\$949.17
Eaglewood 2nd Addition	1	26	02435100260000	1.00	0	0.25	0.25	1	\$953.79
Eaglewood 2nd Addition	1	27	02435100270000	1.00	0	0.25	0.25	1	\$958.37
Eaglewood 2nd Addition	1	28	02435100280000	1.00	0	0.25	0.25	1	\$962.96
Eaglewood 2nd Addition	1	29	02435100290000	1.00	0	0.25	0.25	1	\$963.94
Eaglewood 2nd Addition	1	30	02435100300000	1.00	0	2.25	2.25	10	\$8,521.90
Eaglewood 2nd Addition	2	1	02435100310000	1.00	0	0.24	0.24	1	\$918.44
Eaglewood 2nd Addition	2	2	02435100320000	1.00	0	0.22	0.22	1	\$834.98
Eaglewood 2nd Addition	2	3	02435100330000	1.00	0	0.22	0.22	1	\$834.98
Eaglewood 2nd Addition	2	4	02435100340000	1.00	0	0.22	0.22	1	\$834.98
Eaglewood 2nd Addition	2	5	02435100350000	1.00	0	0.22	0.22	1	\$834.98
Eaglewood 2nd Addition	2	6	02435100360000	1.00	0	0.22	0.22	1	\$834.98
Eaglewood 2nd Addition	2	7	02435100370000	1.00	0	0.24	0.24	1	\$918.44
Eaglewood 2nd Addition	2	8	02435100380000	1.00	0	0.24	0.24	1	\$918.44
Eaglewood 2nd Addition	2	9	02435100390000	1.00	0	0.22	0.22	1	\$834.94
Eaglewood 2nd Addition	2	10	02435100400000	1.00	0	0.22	0.22	1	\$834.94
Eaglewood 2nd Addition	2	11	02435100410000	1.00	0	0.22	0.22	1	\$834.94
Eaglewood 2nd Addition	2	12	02435100420000	1.00	0	0.22	0.22	1	\$834.98
Eaglewood 2nd Addition	2	13	02435100430000	1.00	0	0.22	0.22	1	\$834.94
Eaglewood 2nd Addition	2	14	02435100440000	1.00	0	0.24	0.24	1	\$918.44
Eaglewood 2nd Addition	3	1	02435100450000	1.00	0	0.24	0.24	1	\$918.44
Eaglewood 2nd Addition	3	2	02435100460000	1.00	0	0.22	0.22	1	\$834.98
Eaglewood 2nd Addition	3	3	02435100470000	1.00	0	0.22	0.22	1	\$834.98
Eaglewood 2nd Addition	3	4	02435100480000	1.00	0	0.22	0.22	1	\$834.98
Eaglewood 2nd Addition	3	5	02435100490000	1.00	0	0.22	0.22	1	\$834.98
Eaglewood 2nd Addition	3	6	02435100500000	1.00	0	0.22	0.22	1	\$834.98
Eaglewood 2nd Addition	3	7	02435100510000	1.00	0	0.24	0.24	1	\$918.44
Eaglewood 2nd Addition	3	8	02435100520000	1.00	0	0.24	0.24	1	\$918.44
Eaglewood 2nd Addition	3	9	02435100530000	1.00	0	0.22	0.22	1	\$834.94
Eaglewood 2nd Addition	3	10	02435100540000	1.00	0	0.22	0.22	1	\$834.94
Eaglewood 2nd Addition	3	11	02435100550000	1.00	0	0.22	0.22	1	\$834.94
Eaglewood 2nd Addition	3	12	02435100560000	1.00	0	0.22	0.22	1	\$834.94
Eaglewood 2nd Addition	3	13	02435100570000	1.00	0	0.22	0.22	1	\$834.94
Eaglewood 2nd Addition	3	14	02435100580000	1.00	0	0.24	0.24	1	\$918.44
Eaglewood 2nd Addition	4	1	02435100590000	1.00	0	0.26	0.26	1	\$991.98
Eaglewood 2nd Addition	4	2	02435100600000	1.00	0	0.24	0.24	1	\$900.94
Eaglewood 2nd Addition	4	3	02435100610000	1.00	0	0.24	0.24	1	\$900.10
Eaglewood 2nd Addition	4	4	02435100620000	1.00	0	0.24	0.24	1	\$899.23
Eaglewood 2nd Addition	4	5	02435100630000	1.00	0	0.24	0.24	1	\$898.40
Eaglewood 2nd Addition	4	6	02435100640000	1.00	0	0.24	0.24	1	\$897.57
Eaglewood 2nd Addition	4	7	02435100650000	1.00	0	0.25	0.25	1	\$956.59
Eaglewood 3rd Addition	1	1	02435200010000	1.00	0	0.30	0.30	1	\$1,134.17
Eaglewood 3rd Addition	1	2	02435200020000	1.00	0	0.30	0.30	1	\$1,134.17
Eaglewood 3rd Addition	1	3	02435200030000	1.00	0	0.30	0.30	1	\$1,134.17
Eaglewood 3rd Addition	1	4	02435200040000	1.00	0	0.30	0.30	1	\$1,134.55
Eaglewood 3rd Addition	1	5	02435200050000	1.00	0	0.30	0.30	1	\$1,154.59
Eaglewood 3rd Addition	1	6	02435200060000	1.00	0	0.32	0.32	1	\$1,223.12
Eaglewood 3rd Addition	1	7	02435200070000	1.00	0	0.34	0.34	1	\$1,305.79
Eaglewood 3rd Addition	1	8	02435200080000	1.00	0	0.36	0.36	2	\$1,376.15
Eaglewood 3rd Addition	1	9	02435200090000	1.00	0	0.38	0.38	2	\$1,432.45
Eaglewood 3rd Addition	1	10	02435200100000	1.00	0	0.39	0.39	2	\$1,474.84
Eaglewood 3rd Addition	1	11	02435200110000	0.00	0	0.08	0.00	0	\$0.00
Eaglewood 3rd Addition	1	12	02435200120000	1.00	0	0.39	0.39	2	\$1,479.62
Eaglewood 3rd Addition	2	1	02435200130000	1.00	0	0.26	0.26	1	\$985.77
Eaglewood 3rd Addition	2	2	02435200140000	1.00	0	0.23	0.23	1	\$880.63
Eaglewood 3rd Addition	2	3	02435200150000	1.00	0	0.23	0.23	1	\$880.63
Eaglewood 3rd Addition	2	4	02435200160000	1.00	0	0.23	0.23	1	\$880.63
Eaglewood 3rd Addition	2	5	02435200170000	1.00	0	0.23	0.23	1	\$880.63
Eaglewood 3rd Addition	2	6	02435200180000	1.00	0	0.23	0.23	1	\$880.63
Eaglewood 3rd Addition	2	7	02435200190000	1.00	0	0.23	0.23	1	\$880.63

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Preliminary Assessment
Eaglewood 3rd Addition	2	8	02435200200000	1.00	0	0.25	0.25	1	\$942.20
Eaglewood 3rd Addition	2	9	02435200210000	1.00	0	0.23	0.23	1	\$869.38
Eaglewood 3rd Addition	2	10	02435200220000	1.00	0	0.25	0.25	1	\$929.09
Eaglewood 3rd Addition	2	11	02435200230000	1.00	0	0.25	0.25	1	\$963.83
Eaglewood 3rd Addition	2	12	02435200240000	1.00	0	0.26	0.26	1	\$983.30
Eaglewood 3rd Addition	2	13	02435200250000	1.00	0	0.26	0.26	1	\$982.13
Eaglewood 3rd Addition	2	14	02435200260000	1.00	0	0.26	0.26	1	\$992.59
Eaglewood 3rd Addition	2	15	02435200270000	1.00	0	0.29	0.29	1	\$1,101.81
Eaglewood 3rd Addition	2	16	02435200280000	1.00	0	4.59	4.59	20	\$17,373.83
Eaglewood 3rd Addition	3	1	02435200290000	1.00	0	0.20	0.20	1	\$751.74
Eaglewood 3rd Addition	3	2	02435200300000	1.00	0	0.19	0.19	1	\$704.50
Eaglewood 3rd Addition	3	3	02435200310000	1.00	0	0.19	0.19	1	\$704.50
Eaglewood 3rd Addition	3	4	02435200320000	1.00	0	0.19	0.19	1	\$704.50
Eaglewood 3rd Addition	3	5	02435200330000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	3	6	02435200340000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	3	7	02435200350000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	3	8	02435200360000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	3	9	02435200370000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	3	10	02435200380000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	3	11	02435200390000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	3	12	02435200400000	1.00	0	0.14	0.14	1	\$521.85
Eaglewood 3rd Addition	3	13	02435200410000	1.00	0	0.16	0.16	1	\$602.20
Eaglewood 3rd Addition	4	1	02435200420000	1.00	0	0.17	0.17	1	\$640.85
Eaglewood 3rd Addition	4	2	02435200430000	1.00	0	0.15	0.15	1	\$584.47
Eaglewood 3rd Addition	4	3	02435200440000	1.00	0	0.15	0.15	1	\$584.47
Eaglewood 3rd Addition	4	4	02435200450000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	5	02435200460000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	6	02435200470000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	7	02435200480000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	8	02435200490000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	9	02435200500000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	10	02435200510000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	11	02435200520000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	12	02435200530000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	13	02435200540000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	14	02435200550000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	15	02435200560000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	4	16	02435200570000	1.00	0	0.14	0.14	1	\$524.04
Eaglewood 3rd Addition	5	1	02435200580000	1.00	0	0.17	0.17	1	\$640.85
Eaglewood 3rd Addition	5	2	02435200590000	1.00	0	0.15	0.15	1	\$584.47
Eaglewood 3rd Addition	5	3	02435200600000	1.00	0	0.15	0.15	1	\$584.47
Eaglewood 3rd Addition	5	4	02435200610000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	5	02435200620000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	6	02435200630000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	7	02435200640000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	8	02435200650000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	9	02435200660000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	10	02435200670000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	11	02435200680000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	12	02435200690000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	13	02435200700000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	14	02435200710000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	15	02435200720000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	5	16	02435200730000	1.00	0	0.14	0.14	1	\$520.79
Eaglewood 3rd Addition	6	1	02435200740000	1.00	0	0.20	0.20	1	\$751.67
Eaglewood 3rd Addition	6	2	02435200750000	1.00	0	0.19	0.19	1	\$704.50
Eaglewood 3rd Addition	6	3	02435200760000	1.00	0	0.19	0.19	1	\$704.50
Eaglewood 3rd Addition	6	4	02435200770000	1.00	0	0.19	0.19	1	\$704.50
Eaglewood 3rd Addition	6	5	02435200780000	1.00	0	0.11	0.11	1	\$428.00
Eaglewood 3rd Addition	6	6	02435200790000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	6	7	02435200800000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	6	8	02435200810000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	6	9	02435200820000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	6	10	02435200830000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	6	11	02435200840000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 3rd Addition	6	12	02435200850000	1.00	0	0.14	0.14	1	\$521.85
Eaglewood 3rd Addition	6	13	02435200860000	1.00	0	0.16	0.16	1	\$602.20
Eaglewood 3rd Addition	7	1	02435200870000	1.00	0	0.21	0.21	1	\$799.55
Eaglewood 3rd Addition	7	2	02435200880000	1.00	0	0.19	0.19	1	\$730.60
Eaglewood 3rd Addition	7	3	02435200890000	1.00	0	0.19	0.19	1	\$730.60
Eaglewood 3rd Addition	7	4	02435200900000	1.00	0	0.19	0.19	1	\$730.60
Eaglewood 3rd Addition	7	5	02435200910000	1.00	0	0.19	0.19	1	\$730.60
Eaglewood 3rd Addition	7	6	02435200920000	1.00	0	0.19	0.19	1	\$730.60
Eaglewood 3rd Addition	7	7	02435200930000	1.00	0	0.19	0.19	1	\$730.60
Eaglewood 3rd Addition	7	8	02435200940000	1.00	0	0.19	0.19	1	\$730.60
Eaglewood 3rd Addition	7	9	02435200950000	1.00	0	0.19	0.19	1	\$730.60
Eaglewood 3rd Addition	7	10	02435200960000	1.00	0	0.21	0.21	1	\$808.87
Eaglewood 4th Addition	1	1	02435300010000	1.00	0	0.42	0.42	2	\$1,585.66
Eaglewood 4th Addition	1	2	02435300020000	1.00	0	0.42	0.42	2	\$1,583.16
Eaglewood 4th Addition	2	1	02435300030000	1.00	0	0.27	0.27	1	\$1,040.81
Eaglewood 4th Addition	2	2	02435300040000	1.00	0	0.26	0.26	1	\$983.68
Eaglewood 4th Addition	2	3	02435300050000	1.00	0	0.31	0.31	1	\$1,189.90
Eaglewood 4th Addition	2	4	02435300060000	1.00	0	0.33	0.33	1	\$1,255.06
Eaglewood 4th Addition	2	5	02435300070000	1.00	0	0.33	0.33	1	\$1,255.06
Eaglewood 4th Addition	2	6	02435300080000	1.00	0	0.33	0.33	1	\$1,255.06
Eaglewood 4th Addition	2	7	02435300090000	1.00	0	0.32	0.32	1	\$1,211.53
Eaglewood 4th Addition	2	8	02435300100000	1.00	0	0.25	0.25	1	\$958.45
Eaglewood 4th Addition	2	9	02435300110000	1.00	0	0.30	0.30	1	\$1,119.35

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Preliminary Assessment
Eaglewood 4th Addition	3	1	02435300120000	1.00	0	0.21	0.21	1	\$786.33
Eaglewood 4th Addition	3	2	02435300130000	1.00	0	0.18	0.18	1	\$684.15
Eaglewood 4th Addition	3	3	02435300140000	1.00	0	0.20	0.20	1	\$759.70
Eaglewood 4th Addition	3	4	02435300150000	1.00	0	0.19	0.19	1	\$716.73
Eaglewood 4th Addition	3	5	02435300160000	1.00	0	0.18	0.18	1	\$682.14
Eaglewood 4th Addition	4	1	02435300170000	1.00	0	0.14	0.14	1	\$547.34
Eaglewood 4th Addition	4	2	02435300180000	1.00	0	0.12	0.12	1	\$466.65
Eaglewood 4th Addition	4	3	02435300190000	1.00	0	0.12	0.12	1	\$466.91
Eaglewood 4th Addition	4	4	02435300200000	1.00	0	0.12	0.12	1	\$467.18
Eaglewood 4th Addition	4	5	02435300210000	1.00	0	0.14	0.14	1	\$542.99
Eaglewood 4th Addition	5	1	02435300220000	1.00	0	0.14	0.14	1	\$547.08
Eaglewood 4th Addition	5	2	02435300230000	1.00	0	0.12	0.12	1	\$467.18
Eaglewood 4th Addition	5	3	02435300240000	1.00	0	0.12	0.12	1	\$467.14
Eaglewood 4th Addition	5	4	02435300250000	1.00	0	0.12	0.12	1	\$467.14
Eaglewood 4th Addition	5	5	02435300260000	1.00	0	0.14	0.14	1	\$542.99
Eaglewood 4th Addition	6	1	02435300270000	1.00	0	0.14	0.14	1	\$538.48
Eaglewood 4th Addition	6	2	02435300280000	1.00	0	0.12	0.12	1	\$467.93
Eaglewood 4th Addition	6	3	02435300290000	1.00	0	0.12	0.12	1	\$467.59
Eaglewood 4th Addition	6	4	02435300300000	1.00	0	0.12	0.12	1	\$467.21
Eaglewood 4th Addition	6	5	02435300310000	1.00	0	0.14	0.14	1	\$534.77
Eaglewood 4th Addition	7	1	02435300320000	1.00	0	0.17	0.17	1	\$653.69
Eaglewood 4th Addition	8	1	02435300330000	1.00	0	0.17	0.17	1	\$640.85
Eaglewood 4th Addition	8	2	02435300340000	1.00	0	0.15	0.15	1	\$584.47
Eaglewood 4th Addition	8	3	02435300350000	1.00	0	0.15	0.15	1	\$584.47
Eaglewood 4th Addition	8	4	02435300360000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	5	02435300370000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	6	02435300380000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	7	02435300390000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	8	02435300400000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	9	02435300410000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	10	02435300420000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	11	02435300430000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	12	02435300440000	1.00	0	0.11	0.11	1	\$433.31
Eaglewood 4th Addition	8	13	02435300450000	1.00	0	0.12	0.12	1	\$459.22
Eaglewood 4th Addition	8	14	02435300460000	1.00	0	0.13	0.13	1	\$492.14
Eaglewood 4th Addition	8	15	02435300470000	1.00	0	0.14	0.14	1	\$533.90
Eaglewood 4th Addition	8	16	02435300480000	1.00	0	0.18	0.18	1	\$692.30
Eaglewood 4th Addition	8	17	02435300490000	1.00	0	0.17	0.17	1	\$647.48
Eaglewood 4th Addition	8	18	02435300500000	1.00	0	0.13	0.13	1	\$482.37
Eaglewood 4th Addition	8	19	02435300510000	1.00	0	0.12	0.12	1	\$446.07
Eaglewood 4th Addition	8	20	02435300520000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	21	02435300530000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	22	02435300540000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	23	02435300550000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	24	02435300560000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	25	02435300570000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	26	02435300580000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	27	02435300590000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	28	02435300600000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	29	02435300610000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	8	30	02435300620000	1.00	0	0.15	0.15	1	\$584.47
Eaglewood 4th Addition	8	31	02435300630000	1.00	0	0.15	0.15	1	\$584.47
Eaglewood 4th Addition	8	32	02435300640000	1.00	0	0.17	0.17	1	\$640.85
Eaglewood 4th Addition	9	1	02435300650000	1.00	0	0.25	0.25	1	\$945.95
Eaglewood 4th Addition	9	2	02435300660000	1.00	0	0.22	0.22	1	\$815.24
Eaglewood 4th Addition	9	3	02435300670000	1.00	0	0.19	0.19	1	\$716.17
Eaglewood 4th Addition	9	4	02435300680000	1.00	0	0.17	0.17	1	\$635.58
Eaglewood 4th Addition	9	5	02435300690000	1.00	0	0.11	0.11	1	\$428.12
Eaglewood 4th Addition	9	6	02435300700000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	7	02435300710000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	8	02435300720000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	9	02435300730000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	10	02435300740000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	11	02435300750000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	12	02435300760000	1.00	0	0.14	0.14	1	\$521.85
Eaglewood 4th Addition	9	13	02435300770000	1.00	0	0.16	0.16	1	\$602.20
Eaglewood 4th Addition	9	14	02435300780000	1.00	0	0.16	0.16	1	\$602.20
Eaglewood 4th Addition	9	15	02435300790000	1.00	0	0.14	0.14	1	\$521.85
Eaglewood 4th Addition	9	16	02435300800000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	17	02435300810000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	18	02435300820000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	19	02435300830000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	20	02435300840000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	21	02435300850000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	22	02435300860000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	9	23	02435300870000	1.00	0	0.18	0.18	1	\$683.05
Eaglewood 4th Addition	9	24	02435300880000	1.00	0	0.18	0.18	1	\$696.43
Eaglewood 4th Addition	9	25	02435300890000	1.00	0	0.20	0.20	1	\$775.38
Eaglewood 4th Addition	9	26	02435300900000	1.00	0	0.24	0.24	1	\$927.04
Eaglewood 4th Addition	10	1	02435300910000	1.00	0	0.24	0.24	1	\$916.17
Eaglewood 4th Addition	10	2	02435300920000	1.00	0	0.23	0.23	1	\$881.39
Eaglewood 4th Addition	10	3	02435300930000	1.00	0	0.24	0.24	1	\$907.15
Eaglewood 4th Addition	10	4	02435300940000	1.00	0	0.25	0.25	1	\$958.68
Eaglewood 4th Addition	10	5	02435300950000	1.00	0	0.27	0.27	1	\$1,010.24
Eaglewood 4th Addition	10	6	02435300960000	1.00	0	0.28	0.28	1	\$1,061.77
Eaglewood 4th Addition	10	7	02435300970000	1.00	0	0.33	0.33	1	\$1,248.55
Eaglewood 4th Addition	11	1	02435300980000	1.00	0	0.16	0.16	1	\$602.20
Eaglewood 4th Addition	11	2	02435300990000	1.00	0	0.14	0.14	1	\$521.85

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Preliminary Assessment
Eaglewood 4th Addition	11	3	02435301000000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	11	4	02435301010000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	11	5	02435301020000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	11	6	02435301030000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	11	7	02435301040000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	11	8	02435301050000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	11	9	02435301060000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	11	10	02435301070000	1.00	0	0.19	0.19	1	\$704.50
Eaglewood 4th Addition	11	11	02435301080000	1.00	0	0.19	0.19	1	\$704.50
Eaglewood 4th Addition	11	12	02435301090000	1.00	0	0.19	0.19	1	\$704.50
Eaglewood 4th Addition	11	13	02435301100000	1.00	0	0.20	0.20	1	\$751.74
Eaglewood 4th Addition	12	1	02435301110000	1.00	0	0.14	0.14	1	\$526.20
Eaglewood 4th Addition	12	2	02435301120000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	3	02435301130000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	4	02435301140000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	5	02435301150000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	6	02435301160000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	7	02435301170000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	8	02435301180000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	9	02435301190000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	10	02435301200000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	11	02435301210000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	12	02435301220000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	13	02435301230000	1.00	0	0.11	0.11	1	\$427.93
Eaglewood 4th Addition	12	14	02435301240000	1.00	0	0.15	0.15	1	\$584.47
Eaglewood 4th Addition	12	15	02435301250000	1.00	0	0.15	0.15	1	\$584.47
Eaglewood 4th Addition	12	16	02435301260000	1.00	0	0.17	0.17	1	\$640.85
Eaglewood 5th Addition	1	1	02435400010000	1.00	0	0.13	0.13	1	\$500.82
Eaglewood 5th Addition	1	2	02435400020000	1.00	0	0.14	0.14	1	\$514.12
Eaglewood 5th Addition	1	3	02435400030000	1.00	0	0.14	0.14	1	\$514.27
Eaglewood 5th Addition	1	4	02435400040000	1.00	0	0.14	0.14	1	\$514.35
Eaglewood 5th Addition	1	5	02435400050000	1.00	0	0.14	0.14	1	\$514.46
Eaglewood 5th Addition	1	6	02435400060000	1.00	0	0.14	0.14	1	\$514.57
Eaglewood 5th Addition	1	7	02435400070000	1.00	0	0.13	0.13	1	\$503.51
Eaglewood 5th Addition	1	8	02435400080000	1.00	0	0.14	0.14	1	\$525.90
Eaglewood 5th Addition	1	9	02435400090000	1.00	0	0.14	0.14	1	\$514.88
Eaglewood 5th Addition	1	10	02435400100000	1.00	0	0.14	0.14	1	\$514.95
Eaglewood 5th Addition	1	11	02435400110000	1.00	0	0.14	0.14	1	\$515.07
Eaglewood 5th Addition	1	12	02435400120000	1.00	0	0.14	0.14	1	\$515.18
Eaglewood 5th Addition	1	13	02435400130000	1.00	0	0.14	0.14	1	\$515.25
Eaglewood 5th Addition	1	14	02435400140000	1.00	0	0.14	0.14	1	\$521.73
Eaglewood 5th Addition	1	15	02435400150000	1.00	0	0.14	0.14	1	\$512.56
Eaglewood 5th Addition	1	16	02435400160000	1.00	0	0.14	0.14	1	\$514.19
Eaglewood 5th Addition	1	17	02435400170000	1.00	0	0.14	0.14	1	\$514.42
Eaglewood 5th Addition	1	18	02435400180000	1.00	0	0.14	0.14	1	\$512.79
Eaglewood 5th Addition	1	19	02435400190000	1.00	0	0.14	0.14	1	\$515.86
Eaglewood 5th Addition	1	20	02435400200000	1.00	0	0.14	0.14	1	\$515.97
Eaglewood 5th Addition	1	21	02435400210000	1.00	0	0.17	0.17	1	\$626.49
Eaglewood 5th Addition	1	22	02435400220000	1.00	0	0.15	0.15	1	\$578.94
Eaglewood 5th Addition	1	23	02435400230000	1.00	0	0.13	0.13	1	\$498.09
Eaglewood 5th Addition	1	24	02435400240000	1.00	0	0.14	0.14	1	\$536.40
Eaglewood 5th Addition	1	25	02435400250000	1.00	0	0.17	0.17	1	\$625.24
Eaglewood 5th Addition	2	1	02435400260000	1.00	0	0.15	0.15	1	\$562.92
Eaglewood 5th Addition	2	2	02435400270000	1.00	0	0.12	0.12	1	\$445.35
Eaglewood 5th Addition	2	3	02435400280000	1.00	0	0.12	0.12	1	\$445.13
Eaglewood 5th Addition	2	4	02435400290000	1.00	0	0.12	0.12	1	\$444.90
Eaglewood 5th Addition	2	5	02435400300000	1.00	0	0.12	0.12	1	\$444.67
Eaglewood 5th Addition	2	6	02435400310000	1.00	0	0.12	0.12	1	\$444.45
Eaglewood 5th Addition	2	7	02435400320000	1.00	0	0.12	0.12	1	\$444.22
Eaglewood 5th Addition	2	8	02435400330000	1.00	0	0.12	0.12	1	\$443.99
Eaglewood 5th Addition	2	9	02435400340000	1.00	0	0.12	0.12	1	\$443.76
Eaglewood 5th Addition	2	10	02435400350000	1.00	0	0.12	0.12	1	\$443.54
Eaglewood 5th Addition	2	11	02435400360000	1.00	0	0.12	0.12	1	\$443.31
Eaglewood 5th Addition	2	12	02435400370000	1.00	0	0.12	0.12	1	\$443.08
Eaglewood 5th Addition	2	13	02435400380000	1.00	0	0.13	0.13	1	\$510.25
Eaglewood 5th Addition	2	14	02435400390000	1.00	0	0.15	0.15	1	\$556.13
Eaglewood 5th Addition	3	1	02435400400000	1.00	0	0.15	0.15	1	\$576.33
Eaglewood 5th Addition	3	2	02435400410000	1.00	0	0.12	0.12	1	\$438.99
Eaglewood 5th Addition	3	3	02435400420000	1.00	0	0.12	0.12	1	\$438.04
Eaglewood 5th Addition	3	4	02435400430000	1.00	0	0.12	0.12	1	\$437.10
Eaglewood 5th Addition	3	5	02435400440000	1.00	0	0.12	0.12	1	\$436.15
Eaglewood 5th Addition	3	6	02435400450000	1.00	0	0.11	0.11	1	\$435.16
Eaglewood 5th Addition	3	7	02435400460000	1.00	0	0.11	0.11	1	\$434.22
Eaglewood 5th Addition	3	8	02435400470000	1.00	0	0.11	0.11	1	\$433.27
Eaglewood 5th Addition	3	9	02435400480000	1.00	0	0.11	0.11	1	\$432.32
Eaglewood 5th Addition	3	10	02435400490000	1.00	0	0.11	0.11	1	\$431.37
Eaglewood 5th Addition	3	11	02435400500000	1.00	0	0.11	0.11	1	\$430.43
Eaglewood 5th Addition	3	12	02435400510000	1.00	0	0.11	0.11	1	\$429.44
Eaglewood 5th Addition	3	13	02435400520000	1.00	0	0.11	0.11	1	\$428.50
Eaglewood 5th Addition	3	14	02435400530000	1.00	0	0.13	0.13	1	\$508.89
Eaglewood 5th Addition	3	15	02435400540000	1.00	0	0.16	0.16	1	\$602.66
Eaglewood 5th Addition	3	16	02435400550000	1.00	0	0.17	0.17	1	\$629.52
Eaglewood 5th Addition	3	17	02435400560000	1.00	0	0.14	0.14	1	\$524.20
Eaglewood 5th Addition	3	18	02435400570000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	3	19	02435400580000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	3	20	02435400590000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	3	21	02435400600000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	3	22	02435400610000	1.00	0	0.12	0.12	1	\$440.32

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Preliminary Assessment
Eaglewood 5th Addition	3	23	02435400620000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	3	24	02435400630000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	3	25	02435400640000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	3	26	02435400650000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	3	27	02435400660000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	3	28	02435400670000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	3	29	02435400680000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	3	30	02435400690000	1.00	0	0.15	0.15	1	\$576.37
Eaglewood 5th Addition	4	1	02435400700000	1.00	0	0.15	0.15	1	\$576.59
Eaglewood 5th Addition	4	2	02435400710000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	3	02435400720000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	4	02435400730000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	5	02435400740000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	6	02435400750000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	7	02435400760000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	8	02435400770000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	9	02435400780000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	10	02435400790000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	11	02435400800000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	12	02435400810000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	13	02435400820000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	14	02435400830000	1.00	0	0.14	0.14	1	\$524.20
Eaglewood 5th Addition	4	15	02435400840000	1.00	0	0.17	0.17	1	\$626.83
Eaglewood 5th Addition	4	16	02435400850000	1.00	0	0.17	0.17	1	\$630.01
Eaglewood 5th Addition	4	17	02435400860000	1.00	0	0.14	0.14	1	\$524.20
Eaglewood 5th Addition	4	18	02435400870000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	19	02435400880000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	20	02435400890000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	21	02435400900000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	22	02435400910000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	23	02435400920000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	24	02435400930000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	25	02435400940000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	26	02435400950000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	27	02435400960000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	28	02435400970000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	29	02435400980000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	4	30	02435400990000	1.00	0	0.15	0.15	1	\$576.59
Eaglewood 5th Addition	5	1	02435401000000	1.00	0	0.15	0.15	1	\$576.59
Eaglewood 5th Addition	5	2	02435401010000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	3	02435401020000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	4	02435401030000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	5	02435401040000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	6	02435401050000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	7	02435401060000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	8	02435401070000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	9	02435401080000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	10	02435401090000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	11	02435401100000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	12	02435401110000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	13	02435401120000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	14	02435401130000	1.00	0	0.14	0.14	1	\$524.20
Eaglewood 5th Addition	5	15	02435401140000	1.00	0	0.17	0.17	1	\$631.07
Eaglewood 5th Addition	5	16	02435401150000	1.00	0	0.17	0.17	1	\$629.60
Eaglewood 5th Addition	5	17	02435401160000	1.00	0	0.14	0.14	1	\$524.20
Eaglewood 5th Addition	5	18	02435401170000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	19	02435401180000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	20	02435401190000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	21	02435401200000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	22	02435401210000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	23	02435401220000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	24	02435401230000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	25	02435401240000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	26	02435401250000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	27	02435401260000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	28	02435401270000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	29	02435401280000	1.00	0	0.12	0.12	1	\$440.32
Eaglewood 5th Addition	5	30	02435401290000	1.00	0	0.15	0.15	1	\$576.59
Eaglewood 5th Addition	6	1	02435401300000	1.00	0	0.21	0.21	1	\$806.22
Eaglewood 5th Addition	6	2	02435401310000	1.00	0	0.18	0.18	1	\$693.51
Eaglewood 5th Addition	6	3	02435401320000	1.00	0	0.15	0.15	1	\$557.23
Eaglewood 5th Addition	6	4	02435401330000	1.00	0	0.14	0.14	1	\$546.89
Eaglewood 5th Addition	6	5	02435401340000	1.00	0	0.14	0.14	1	\$536.55
Eaglewood 5th Addition	6	6	02435401350000	1.00	0	0.14	0.14	1	\$526.20
Eaglewood 5th Addition	6	7	02435401360000	1.00	0	0.14	0.14	1	\$515.86
Eaglewood 5th Addition	6	8	02435401370000	1.00	0	0.13	0.13	1	\$505.52
Eaglewood 5th Addition	6	9	02435401380000	1.00	0	0.13	0.13	1	\$495.18
Eaglewood 5th Addition	6	10	02435401390000	1.00	0	0.13	0.13	1	\$484.87
Eaglewood 5th Addition	6	11	02435401400000	1.00	0	0.13	0.13	1	\$474.53
Eaglewood 5th Addition	6	12	02435401410000	1.00	0	0.12	0.12	1	\$464.18
Eaglewood 5th Addition	6	13	02435401420000	1.00	0	0.12	0.12	1	\$453.84
Eaglewood 5th Addition	6	14	02435401430000	1.00	0	0.12	0.12	1	\$443.50
Eaglewood 5th Addition	6	15	02435401440000	1.00	0	0.15	0.15	1	\$566.02
Eaglewood 6th Addition	1	1	02435500010000	1.00	0	0.15	0.15	1	\$550.91
Eaglewood 6th Addition	1	2	02435500020000	1.00	0	0.10	0.10	1	\$396.18
Eaglewood 6th Addition	1	3	02435500030000	1.00	0	0.12	0.12	1	\$442.97
Eaglewood 6th Addition	1	4	02435500040000	1.00	0	0.12	0.12	1	\$442.97
Eaglewood 6th Addition	1	5	02435500050000	1.00	0	0.10	0.10	1	\$396.18

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Preliminary Assessment
Eaglewood 6th Addition	1	6	0243550060000	1.00	0	0.10	0.10	1	\$396.22
Eaglewood 6th Addition	1	7	0243550070000	1.00	0	0.12	0.12	1	\$438.88
Eaglewood 6th Addition	1	8	0243550080000	1.00	0	0.11	0.11	1	\$400.19
Eaglewood 6th Addition	1	9	0243550090000	1.00	0	0.10	0.10	1	\$386.82
Eaglewood 6th Addition	1	10	02435500100000	1.00	0	0.15	0.15	1	\$578.83
Eaglewood 6th Addition	1	11	02435500110000	1.00	0	0.30	0.30	1	\$1,127.42
Eaglewood 6th Addition	1	12	02435500120000	1.00	0	0.21	0.21	1	\$786.18
Eaglewood 6th Addition	1	13	02435500130000	1.00	0	0.27	0.27	1	\$1,035.09
Eaglewood 6th Addition	1	14	02435500140000	1.00	0	0.15	0.15	1	\$557.35
Eaglewood 6th Addition	1	15	02435500150000	1.00	0	0.10	0.10	1	\$382.08
Eaglewood 6th Addition	1	16	02435500160000	1.00	0	0.10	0.10	1	\$393.53
Eaglewood 6th Addition	1	17	02435500170000	1.00	0	0.11	0.11	1	\$433.34
Eaglewood 6th Addition	1	18	02435500180000	1.00	0	0.10	0.10	1	\$391.37
Eaglewood 6th Addition	1	19	02435500190000	1.00	0	0.10	0.10	1	\$391.37
Eaglewood 6th Addition	1	20	02435500200000	1.00	0	0.12	0.12	1	\$437.59
Eaglewood 6th Addition	1	21	02435500210000	1.00	0	0.12	0.12	1	\$437.59
Eaglewood 6th Addition	1	22	02435500220000	1.00	0	0.10	0.10	1	\$391.40
Eaglewood 6th Addition	1	23	02435500230000	1.00	0	0.14	0.14	1	\$544.12
Eaglewood 6th Addition	1	24	02435500240000	1.00	0	8.26	8.26	36	\$31,285.48
Eaglewood 6th Addition	1	25	02435500250000	0.00	0	3.75	0.00	0	\$0.00
Eaglewood 6th Addition	1	26	02435500260000	1.00	0	0.79	0.79	3	\$3,000.19
Eaglewood 6th Addition	1	27	02435500270000	0.00	0	0.36	0.00	0	\$0.00
Eaglewood 6th Addition	2	1	02435500280000	1.00	0	1.55	1.55	7	\$5,874.85
Eaglewood 7th Addition	1	1	TBD	1.00	65	0.32	0.32	1	\$37,768.77
Eaglewood 7th Addition	1	2	TBD	1.00	60	0.29	0.29	1	\$34,730.13
Eaglewood 7th Addition	1	3	TBD	1.00	55	0.26	0.26	1	\$31,681.57
Eaglewood 7th Addition	1	4	TBD	1.00	50	0.23	0.23	1	\$28,642.94
Eaglewood 7th Addition	1	5	TBD	1.00	50	0.23	0.23	1	\$28,489.15
Eaglewood 7th Addition	1	6	TBD	1.00	50	0.22	0.22	1	\$28,367.25
Eaglewood 7th Addition	1	7	TBD	1.00	53	0.23	0.23	1	\$29,942.53
Eaglewood 7th Addition	1	8	TBD	1.00	48	0.21	0.21	1	\$27,061.23
Eaglewood 7th Addition	1	9	TBD	1.00	50	0.21	0.21	1	\$28,135.51
Eaglewood 7th Addition	1	10	TBD	1.00	50	0.21	0.21	1	\$28,104.33
Eaglewood 7th Addition	1	11	TBD	1.00	55	0.24	0.24	1	\$30,959.41
Eaglewood 7th Addition	1	12	TBD	1.00	60	0.22	0.22	1	\$32,631.66
Eaglewood 7th Addition	1	13	TBD	1.00	60	0.22	0.22	1	\$32,574.97
Eaglewood 7th Addition	2	1	TBD	1.00	62	0.20	0.20	1	\$32,912.19
Eaglewood 7th Addition	2	2	TBD	1.00	51	0.17	0.17	1	\$27,109.96
Eaglewood 7th Addition	2	3	TBD	1.00	51	0.17	0.17	1	\$27,109.96
Eaglewood 7th Addition	2	4	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	5	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	6	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	7	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	8	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	9	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	10	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	11	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	12	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	13	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	14	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	15	TBD	1.00	41	0.13	0.13	1	\$21,794.54
Eaglewood 7th Addition	2	16	TBD	1.00	51	0.17	0.17	1	\$27,109.96
Eaglewood 7th Addition	2	17	TBD	1.00	51	0.17	0.17	1	\$27,109.96
Eaglewood 7th Addition	2	18	TBD	1.00	63	0.21	0.21	1	\$33,490.44
Eaglewood 7th Addition	3	1	TBD	1.00	60	0.20	0.20	1	\$31,871.22
Eaglewood 7th Addition	3	2	TBD	1.00	45	0.15	0.15	1	\$23,921.14
Eaglewood 7th Addition	3	3	TBD	1.00	42	0.14	0.14	1	\$22,275.70
Eaglewood 7th Addition	3	4	TBD	1.00	42	0.14	0.14	1	\$22,275.70
Eaglewood 7th Addition	3	5	TBD	1.00	42	0.14	0.14	1	\$22,275.70
Eaglewood 7th Addition	4	1	TBD	1.00	55	0.16	0.16	1	\$28,566.12
Eaglewood 7th Addition	4	2	TBD	1.00	41	0.12	0.12	1	\$21,373.57
Eaglewood 7th Addition	4	3	TBD	1.00	41	0.12	0.12	1	\$21,440.90
Eaglewood 7th Addition	4	4	TBD	1.00	41	0.12	0.12	1	\$21,508.23
Eaglewood 7th Addition	4	5	TBD	1.00	41	0.13	0.13	1	\$21,575.56
Eaglewood 7th Addition	4	6	TBD	1.00	41	0.13	0.13	1	\$21,642.88
Eaglewood 7th Addition	4	7	TBD	1.00	41	0.13	0.13	1	\$21,710.21
Eaglewood 7th Addition	4	8	TBD	1.00	41	0.13	0.13	1	\$21,777.54
Eaglewood 7th Addition	4	9	TBD	1.00	41	0.14	0.14	1	\$21,844.86
Eaglewood 7th Addition	4	10	TBD	1.00	41	0.14	0.14	1	\$21,912.19
Eaglewood 7th Addition	4	11	TBD	1.00	45	0.15	0.15	1	\$24,089.81
Eaglewood 7th Addition	4	12	TBD	1.00	55	0.19	0.19	1	\$29,551.21
Eaglewood 7th Addition	4	13	TBD	1.00	37	0.25	0.25	1	\$23,728.82
Eaglewood 7th Addition	5	1	TBD	1.00	66	0.22	0.22	1	\$35,096.77
Eaglewood 7th Addition	5	2	TBD	1.00	51	0.16	0.16	1	\$26,990.05
Eaglewood 7th Addition	5	3	TBD	1.00	41	0.13	0.13	1	\$21,612.33
Eaglewood 7th Addition	5	4	TBD	1.00	41	0.13	0.13	1	\$21,550.59
Eaglewood 7th Addition	5	5	TBD	1.00	41	0.12	0.12	1	\$21,502.43
Eaglewood 7th Addition	5	6	TBD	1.00	41	0.12	0.12	1	\$21,467.85
Eaglewood 7th Addition	5	7	TBD	1.00	51	0.15	0.15	1	\$26,579.16
Eaglewood 7th Addition	5	8	TBD	0.00	0	3.00	0.00	0	\$0.00
Eaglewood 7th Addition	5	9	TBD	1.00	90.11	0.24	0.24	1	\$46,215.00
Eaglewood 7th Addition	5	10	TBD	1.00	50	0.21	0.21	1	\$27,920.06
Eaglewood 7th Addition	5	11	TBD	1.00	41	0.17	0.17	1	\$22,772.46
Eaglewood 7th Addition	5	12	TBD	1.00	41	0.13	0.13	1	\$21,674.07
Eaglewood 7th Addition	5	13	TBD	1.00	41	0.12	0.12	1	\$21,307.63
Eaglewood 7th Addition	5	14	TBD	1.00	41	0.12	0.12	1	\$21,296.21
Eaglewood 7th Addition	5	15	TBD	1.00	41	0.12	0.12	1	\$21,296.21
Eaglewood 7th Addition	5	16	TBD	1.00	41	0.12	0.12	1	\$21,296.21

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Preliminary Assessment	
Eaglewood 7th Addition	5	17	TBD	1.00	41	0.12	0.12	1	\$21,296.21	
Eaglewood 7th Addition	5	18	TBD	1.00	41	0.12	0.12	1	\$21,296.21	
Eaglewood 7th Addition	5	19	TBD	1.00	41	0.12	0.12	1	\$21,296.21	
Eaglewood 7th Addition	5	20	TBD	1.00	41	0.12	0.12	1	\$21,296.21	
Eaglewood 7th Addition	5	21	TBD	1.00	41	0.12	0.12	1	\$21,296.21	
Eaglewood 7th Addition	5	22	TBD	1.00	41	0.12	0.12	1	\$21,316.89	
Eaglewood 7th Addition	5	23	TBD	1.00	49	0.16	0.16	1	\$25,932.66	
Eaglewood 7th Addition	5	24	TBD	1.00	49	0.16	0.16	1	\$25,922.29	
Eaglewood 7th Addition	5	25	TBD	1.00	51	0.15	0.15	1	\$26,638.67	
Eaglewood 7th Addition	5	26	TBD	1.00	68	0.20	0.20	1	\$35,544.69	
Eaglewood 7th Addition	5	27	TBD	1.00	50	0.16	0.16	1	\$26,467.84	
Eaglewood 7th Addition	5	28	TBD	1.00	50	0.14	0.14	1	\$25,859.99	
Eaglewood 7th Addition	5	29	TBD	1.00	41	0.13	0.13	1	\$21,674.07	
Eaglewood 7th Addition	5	30	TBD	1.00	41	0.13	0.13	1	\$21,706.79	
Eaglewood 7th Addition	5	31	TBD	1.00	41	0.13	0.13	1	\$21,739.21	
Eaglewood 7th Addition	5	32	TBD	1.00	41	0.13	0.13	1	\$21,771.93	
Eaglewood 7th Addition	5	33	TBD	1.00	41	0.13	0.13	1	\$21,803.73	
Eaglewood 7th Addition	5	34	TBD	1.00	55	0.18	0.18	1	\$29,300.25	
Eaglewood 7th Addition	5	35	TBD	1.00	56	0.22	0.22	1	\$30,886.68	
Construction Dollars						3916.11	113.33	106.14	623	\$2,451,844.00
Local S & W	\$586,593.38									
Local Street	\$731,165.55									
Local Street Lighting	\$74,518.70									
Local Storm	\$248,448.29									
Pond	\$250,284.08									
Total	\$1,891,010.00									

Based on Assessment Total	
Local S & W	\$710,848.25
Local Street	\$886,044.35
Local Street Lighting	\$90,303.59
Local Storm	\$301,075.73
Pond	\$303,300.39
Land Acquisition	\$98,825.70
Hookup Fee	\$61,446.00
Total Assessment	\$2,451,844.00

Engineering, admin., legal, etc. = 21.18%

Local Sewer & Water Cost per FF	\$181.52
Local Street Cost per FF	\$226.26
Local Street Lighting Cost per FF	\$23.06
Local Storm Cost per SF	\$0.52
Pond Cost per SF	\$0.07
Land Acquisition Cost per SF	\$0.02
Hookup Fee Cost per SF	\$0.11



ENGINEERING DEPARTMENT

800 4 Ave E, Suite 1
West Fargo, ND 58078
701.433.5300
www.westfargond.gov

AGENDA ITEM REQUEST
BOARD OF CITY COMMISSIONERS
WEST FARGO, NORTH DAKOTA

OFFICE USE:
AGENDA ITEM # _____

** "Consent" or "Regular" Agenda Item? **Regular** **

1. CONTACT PERSON(s):
 - Dustin T. Scott, City Engineer (433-5425)
2. DATE OF MEETING: **May 20, 2019**
3. DESCRIPTION OF REQUEST:
 - Review letter prepared by Moore Engineering including bid results and a recommendation to award a construction contract for *Sewer, Water, Storm and Street Improvement District No. 1323*
 - Review Engineer's Statement of Cost for *Sewer, Water, Storm and Street Improvement District No. 1323 (pursuant to N.D.C.C. 40-22-29)*.
4. LOCATION (address; legal; etc.):
 - Brooks Harbor 9th Addition
5. ACTION(S) REQUESTED:
 1. Award construction contract for *Sewer, Water, Storm and Street Improvement District No. 1323* to Dirt Dynamics, LLC in the amount of \$1,018,496.56



925 10th Avenue East
West Fargo, ND 58078

P: 701.282.4692
F: 701.282.4530



May 16, 2019

Dustin T. Scott, PE
City Engineer
City of West Fargo
800 4th Avenue East
West Fargo ND 58078

Re: Sewer, Water, Storm and Street Improvement District No. 1323
Brooks Harbor 9th Addition
West Fargo, ND

Dear Dustin:

Bids were opened for the above referenced project on May 14, 2019 at 10:00 a.m. at West Fargo City Hall. The bids were compiled and the bid tabulation is enclosed for your review.

I hereby recommend award of contract to Dirt Dynamics, LLC for their bid of \$1,018,496.56.

Our Engineer's Opinion of Probable Cost with the Engineer's Report was \$1,100,000.00. Our final engineer's estimate was \$918,000.00.

Please review and provide comment at your earliest convenience. If you do not have any questions or comments, please present it to the West Fargo City Commission. To meet the project's proposed schedule, the Contract is anticipated to be awarded by the City Commission on May 20, 2019, 2019. If the Contract is awarded by the Commission, please sign, date, and return the enclosed Notice of Award.

Also enclosed is the Engineer's Statement of Cost for your review and approval. Please sign the letter and return upon your approval.

Lastly, enclosed is an updated allocation for the Special Assessments of the properties benefitting from the project, based on the City's Special Assessment Policy and the provided Engineer's Statement of Cost.

Sincerely,

Steve W. Iverson, MBA
Project Manager

Enclosures:

- Bid Tabulations
- Notice of Award
- Engineer's Statement of Cost
- Special Assessment Allocations based on Bid Results

Sewer, Water, Storm and Street Improvement District No. 1323
 Brooks Harbor 9th Addition
 West Fargo ND
 Project No. 20502A
 Bid Date: May 14, 2019

Dirt Dynamics, LLC
 4206 3rd Ave N
 Fargo, ND 58102

Dakota Underground Company
 4001 15th AVE NW
 Fargo, ND 58102

Border States Paving, Inc.
 PO Box 2586
 Fargo, ND 58108-2586

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
Sanitary Sewer Items								
1. 24200 Removal of Sanitary Sewer	LF	20	\$8.00	\$160.00	\$20.00	\$400.00	\$17.00	\$340.00
2. 24200 Removal of Sanitary Sewer Cleanout	EA	1	\$100.00	\$100.00	\$250.00	\$250.00	\$135.00	\$135.00
3. 330130.11 Televiser - Mainline	LF	1,382	\$2.00	\$2,764.00	\$2.00	\$2,764.00	\$2.25	\$3,109.50
4. 330130.11 Televiser - Service	LF	3,932	\$2.00	\$7,864.00	\$2.00	\$7,864.00	\$2.25	\$8,847.00
5. 330561 Sanitary Sewer - Connect to Existing Manhole	EA	1	\$3,000.00	\$3,000.00	\$3,500.00	\$3,500.00	\$1,000.00	\$1,000.00
6. 330561 Sanitary Sewer Manhole - 48"	EA	8	\$4,900.00	\$39,200.00	\$5,000.00	\$40,000.00	\$5,500.00	\$44,000.00
7. 333111 Sanitary Sewer - 8" PVC SDR 35	LF	1,382	\$35.00	\$48,370.00	\$35.00	\$48,370.00	\$36.00	\$49,752.00
8. 333111 Sanitary Sewer Service - 6" PVC SDR 26	LF	3,932	\$25.00	\$98,300.00	\$21.00	\$82,572.00	\$30.00	\$117,960.00
9. 333111 Sanitary Sewer Service Connection	EA	64	\$612.00	\$39,168.00	\$300.00	\$19,200.00	\$345.00	\$22,080.00
Water Main Items								
1. C-001 Removal of Gate Valve	EA	2	\$450.00	\$900.00	\$0.00	\$0.00	\$190.00	\$380.00
2. 331413 Fittings	LBS	952	\$5.60	\$5,331.20	\$3.50	\$3,332.00	\$7.00	\$6,664.00
3. 331413 Tapping Sleeve & Valve - 10" x 8"	EA	4	\$4,300.00	\$17,200.00	\$7,500.00	\$30,000.00	\$5,500.00	\$22,000.00
4. 331413 Water Main - 6" PVC C900	LF	15	\$28.00	\$420.00	\$27.00	\$405.00	\$32.00	\$480.00
5. 331413 Water Main - 8" PVC C900	LF	1,690	\$27.00	\$45,630.00	\$32.00	\$54,080.00	\$32.00	\$54,080.00
6. 331417 Water Service Connection - 1"	EA	64	\$1,000.00	\$64,000.00	\$550.00	\$35,200.00	\$600.00	\$38,400.00
7. 331417 Water Service Line - 1"	LF	2,598	\$16.00	\$41,568.00	\$19.00	\$49,362.00	\$17.00	\$44,166.00
8. 331419 Gate Valve & Box - 6"	EA	3	\$1,400.00	\$4,200.00	\$1,100.00	\$3,300.00	\$1,500.00	\$4,500.00
9. 331419 Gate Valve & Box - 8"	EA	3	\$1,900.00	\$5,700.00	\$1,500.00	\$4,500.00	\$1,900.00	\$5,700.00
10. 331419 Hydrant - 6"	EA	3	\$4,600.00	\$13,800.00	\$5,150.00	\$15,450.00	\$5,000.00	\$15,000.00
11. 330507.13 Directional Drill - 8"	LF	180	\$80.00	\$14,400.00	\$95.00	\$17,100.00	\$85.00	\$15,300.00
Storm Sewer Items								
1. 202.0174 Removal of Pipe All Types And Sizes	LF	22	\$20.00	\$440.00	\$25.00	\$550.00	\$16.80	\$369.60
2. 714.0210 Pipe Conc Reinf 15In Cl III-Storm Drain	LF	80	\$36.00	\$2,880.00	\$48.00	\$3,840.00	\$42.10	\$3,368.00
3. 714.0315 Pipe Conc Reinf 18In Cl III-Storm Drain	LF	436	\$39.00	\$17,004.00	\$48.00	\$20,928.00	\$44.20	\$19,271.20
4. 714.0405 Pipe Conc Reinf 21In Cl III-Storm Drain	LF	85	\$44.00	\$3,740.00	\$53.00	\$4,505.00	\$50.50	\$4,292.50
5. 714.0620 Pipe Conc Reinf 24In Cl III-Storm Drain	LF	252	\$53.00	\$13,356.00	\$63.00	\$15,876.00	\$58.90	\$14,842.80

Sewer, Water, Storm and Street Improvement District No. 1323
 Brooks Harbor 9th Addition
 West Fargo ND
 Project No. 20502A
 Bid Date: May 14, 2019

Dirt Dynamics, LLC
 4206 3rd Ave N
 Fargo, ND 58102

Dakota Underground Company
 4001 15th AVE NW
 Fargo, ND 58102

Border States Paving, Inc.
 PO Box 2586
 Fargo, ND 58108-2586

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
6. 714.0910 Pipe Conc Reinf 36In Cl III-Storm Drain	LF	16	\$116.00	\$1,856.00	\$120.00	\$1,920.00	\$116.00	\$1,856.00
7. 714.4092 Pipe Conduit 12In-Storm Drain	LF	409	\$24.00	\$9,816.00	\$25.00	\$10,225.00	\$27.30	\$11,165.70
8. 722.0100 Manhole 48In	EA	4	\$2,750.00	\$11,000.00	\$2,600.00	\$10,400.00	\$3,100.00	\$12,400.00
9. 722.0110 Manhole 60In	EA	1	\$3,850.00	\$3,850.00	\$4,200.00	\$4,200.00	\$4,260.00	\$4,260.00
10. 722.0120 Manhole 72In	EA	1	\$6,100.00	\$6,100.00	\$6,200.00	\$6,200.00	\$6,250.00	\$6,250.00
11. 722.3510 Inlet-Type 2	EA	6	\$2,650.00	\$15,900.00	\$2,600.00	\$15,600.00	\$2,310.00	\$13,860.00
12. 722.4000 Inlet Catch Basin-Type A	EA	3	\$1,750.00	\$5,250.00	\$1,900.00	\$5,700.00	\$1,580.00	\$4,740.00
Roadway Items								
1. 202.0114 Removal of Concrete Pavement	SY	446	\$10.00	\$4,460.00	\$25.00	\$11,150.00	\$16.80	\$7,492.80
2. 202.0130 Removal of Curb & Gutter	LF	858	\$10.00	\$8,580.00	\$8.00	\$6,864.00	\$11.00	\$9,438.00
3. 202.0132 Removal of Bituminous Surfacing	SY	271	\$10.00	\$2,710.00	\$20.00	\$5,420.00	\$15.60	\$4,227.60
4. 203.0101 Common Excavation-Type A	CY	514	\$4.00	\$2,056.00	\$7.00	\$3,598.00	\$7.10	\$3,649.40
5. 203.0201 Embankment-Type A	CY	4,905	\$5.00	\$24,525.00	\$9.00	\$44,145.00	\$12.40	\$60,822.00
6. 230.00001 Subgrade Preparation-Type A-12In	SY	5,708	\$2.00	\$11,416.00	\$2.00	\$11,416.00	\$1.65	\$9,418.20
7. 302.0121 Aggregate Base Course Cl 5	CY	1,539	\$32.00	\$49,248.00	\$38.00	\$58,482.00	\$34.80	\$53,557.20
8. 430.0042 Superpave FAA 42	TON	1,277	\$88.00	\$112,376.00	\$75.00	\$95,775.00	\$69.00	\$88,113.00
9. 550.0300 8In Non-Reinf Concrete Pvmt Cl Ae-Doweled	SY	277	\$94.50	\$26,176.50	\$110.00	\$30,470.00	\$105.00	\$29,085.00
10. 709.0151 Geosynthetic Material Type R1	SY	5,708	\$1.90	\$10,845.20	\$2.50	\$14,270.00	\$1.65	\$9,418.20
11. 714.9696 Edgedrain Non Permeable Base	LF	3,043	\$5.50	\$16,736.50	\$6.00	\$18,258.00	\$4.40	\$13,389.20
12. 748.0140 Curb & Gutter-Type I	LF	3,139	\$18.75	\$58,856.25	\$19.00	\$59,641.00	\$18.40	\$57,757.60
13. 750.0030 Pigmented Imprinted Concrete	SY	39	\$105.00	\$4,095.00	\$125.00	\$4,875.00	\$84.10	\$3,279.90
14. 750.0115 Sidewalk Concrete 4In	SY	29	\$68.25	\$1,979.25	\$53.00	\$1,537.00	\$60.70	\$1,760.30
15. 750.0125 Sidewalk Concrete 5In	SY	139	\$73.50	\$10,216.50	\$57.00	\$7,923.00	\$65.90	\$9,160.10
16. 750.0140 Sidewalk Concrete 6In	SY	36	\$79.00	\$2,844.00	\$58.00	\$2,088.00	\$65.90	\$2,372.40
17. 750.0210 Concrete Median Nose Paving	SY	76	\$95.00	\$7,220.00	\$125.00	\$9,500.00	\$118.00	\$8,968.00
18. 750.2115 Detectable Warning Panels	SF	80	\$58.00	\$4,640.00	\$40.00	\$3,200.00	\$34.70	\$2,776.00
19. 754.0110 Flat Sheet For Signs-Type XI Refl Sheeting	SF	105	\$24.00	\$2,520.00	\$25.00	\$2,625.00	\$23.70	\$2,488.50
20. 754.0170 Flexible Delineators	EA	6	\$84.00	\$504.00	\$82.00	\$492.00	\$84.10	\$504.60

Sewer, Water, Storm and Street Improvement District No. 1323
 Brooks Harbor 9th Addition
 West Fargo ND
 Project No. 20502A
 Bid Date: May 14, 2019

Dirt Dynamics, LLC
 4206 3rd Ave N
 Fargo, ND 58102

Dakota Underground Company
 4001 15th AVE NW
 Fargo, ND 58102

Border States Paving, Inc.
 PO Box 2586
 Fargo, ND 58108-2586

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
21. 754.0206 Steel Galv Posts-Telescoping Perforated Tube	LF	123	\$18.00	\$2,214.00	\$20.00	\$2,460.00	\$17.90	\$2,201.70
22. 762.1325 Preformed Patterned Pvmt Mk 24In Line-Grooved	LF	156	\$36.00	\$5,616.00	\$36.00	\$5,616.00	\$35.70	\$5,569.20
23. C-002 Cluster Box Unit - 12 Unit	EA	4	\$2,800.00	\$11,200.00	\$1,800.00	\$7,200.00	\$1,790.00	\$7,160.00
24. C-002 Cluster Box Unit - 8 Unit	EA	2	\$2,200.00	\$4,400.00	\$1,700.00	\$3,400.00	\$1,790.00	\$3,580.00
General Items								
1. 15000 Storm Water Management	LSUM	1	\$3,000.00	\$3,000.00	\$1,500.00	\$1,500.00	\$1,760.00	\$1,760.00
2. 329300 Tree Reset	EA	2	\$210.00	\$420.00	\$200.00	\$400.00	\$210.00	\$420.00
3. 203.00001 Rear Yard Grading	SY	3,554	\$2.00	\$7,108.00	\$3.00	\$10,662.00	\$3.25	\$11,550.50
4. 203.0109 Topsoil	CY	5,604	\$2.75	\$15,411.00	\$3.00	\$16,812.00	\$4.00	\$22,416.00
5. 251.00002 Mowing	ACRE	12.60	\$48.00	\$604.80	\$45.00	\$567.00	\$47.30	\$595.98
6. 251.0300 Seeding Class II	ACRE	4.20	\$788.00	\$3,309.60	\$800.00	\$3,360.00	\$788.00	\$3,309.60
7. 253.0101 Straw Mulch	ACRE	6.40	\$342.00	\$2,188.80	\$350.00	\$2,240.00	\$342.00	\$2,188.80
8. 253.0201 Hydraulic Mulch	ACRE	1.10	\$1,730.00	\$1,903.00	\$1,700.00	\$1,870.00	\$1,730.00	\$1,903.00
9. 260.0100 Silt Fence Unsupported	LF	242	\$2.63	\$636.46	\$2.50	\$605.00	\$2.65	\$641.30
10. 261.0112 Fiber Rolls 12In	LF	85	\$3.10	\$263.50	\$3.00	\$255.00	\$3.10	\$263.50
11. 265.0100 Stabilized Construction Access	EA	1	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,760.00	\$1,760.00
12. 704.1100 Traffic Control	LSUM	1	\$2,170.00	\$2,170.00	\$2,500.00	\$2,500.00	\$2,170.00	\$2,170.00
13. 708.1540 Inlet Protection-Special	EA	22	\$100.00	\$2,200.00	\$150.00	\$3,300.00	\$99.90	\$2,197.80
Electrical Items								
1. 26000 Concrete Base - 5'	EA	11	\$440.00	\$4,840.00	\$470.00	\$5,170.00	\$736.00	\$8,096.00
2. 26000 Conductor - #6 USE/Cu.	LF	4,200	\$2.10	\$8,820.00	\$2.20	\$9,240.00	\$1.85	\$7,770.00
3. 26000 Innerduct - 1.5" PVC	LF	1,400	\$4.15	\$5,810.00	\$4.40	\$6,160.00	\$6.30	\$8,820.00
4. 26000 Light Standard - Single LED and 14' Post	EA	11	\$2,280.00	\$25,080.00	\$2,400.00	\$26,400.00	\$2,520.00	\$27,720.00
5. 26000 Light Standard Spare - Single LED and 14' Post	EA	1	\$2,120.00	\$2,120.00	\$2,250.00	\$2,250.00	\$1,990.00	\$1,990.00
6. 26000 Tracer Wire - #12	LF	1400	\$0.40	\$560.00	\$0.40	\$560.00	\$1.05	\$1,470.00
7. 26000 Remove - Light Standard - Double LED, 16' Post, and Base	EA	1	\$1,850.00	\$1,850.00	\$1,100.00	\$1,100.00	\$526.00	\$526.00
TOTAL OF ALL BID PRICES				\$1,018,496.56 [C]	\$1,024,449.00		\$1,054,326.68	

Sewer, Water, Storm and Street Improvement District No. 1323
 Brooks Harbor 9th Addition
 West Fargo ND
 Project No. 20502A
 Bid Date: May 14, 2019

Fox Underground, Inc.
 PO Box 739
 West Fargo, ND 58078

Northern Improvement Company
 PO Box 2846
 Fargo, ND 58108

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
Sanitary Sewer Items						
1. 24200 Removal of Sanitary Sewer	LF	20	\$16.00	\$320.00	\$19.20	\$384.00
2. 24200 Removal of Sanitary Sewer Cleanout	EA	1	\$125.00	\$125.00	\$150.00	\$150.00
3. 330130.11 Televiser - Mainline	LF	1,382	\$2.00	\$2,764.00	\$2.40	\$3,316.80
4. 330130.11 Televiser - Service	LF	3,932	\$2.00	\$7,864.00	\$2.40	\$9,436.80
5. 330561 Sanitary Sewer - Connect to Existing Manhole	EA	1	\$750.00	\$750.00	\$900.00	\$900.00
6. 330561 Sanitary Sewer Manhole - 48"	EA	8	\$5,000.00	\$40,000.00	\$6,000.00	\$48,000.00
7. 333111 Sanitary Sewer - 8" PVC SDR 35	LF	1,382	\$34.00	\$46,988.00	\$40.80	\$56,385.60
8. 333111 Sanitary Sewer Service - 6" PVC SDR 26	LF	3,932	\$28.00	\$110,096.00	\$33.60	\$132,115.20
9. 333111 Sanitary Sewer Service Connection	EA	64	\$325.00	\$20,800.00	\$390.00	\$24,960.00
Water Main Items						
1. C-001 Removal of Gate Valve	EA	2	\$175.00	\$350.00	\$210.00	\$420.00
2. 331413 Fittings	LBS	952	\$6.00	\$5,712.00	\$7.20	\$6,854.40
3. 331413 Tapping Sleeve & Valve - 10" x 8"	EA	4	\$5,200.00	\$20,800.00	\$6,240.00	\$24,960.00
4. 331413 Water Main - 6" PVC C900	LF	15	\$30.00	\$450.00	\$36.00	\$540.00
5. 331413 Water Main - 8" PVC C900	LF	1,690	\$30.00	\$50,700.00	\$36.00	\$60,840.00
6. 331417 Water Service Connection - 1"	EA	64	\$490.00	\$31,360.00	\$588.00	\$37,632.00
7. 331417 Water Service Line - 1"	LF	2,598	\$16.00	\$41,568.00	\$19.20	\$49,881.60
8. 331419 Gate Valve & Box - 6"	EA	3	\$1,400.00	\$4,200.00	\$1,680.00	\$5,040.00
9. 331419 Gate Valve & Box - 8"	EA	3	\$1,800.00	\$5,400.00	\$2,160.00	\$6,480.00
10. 331419 Hydrant - 6"	EA	3	\$4,600.00	\$13,800.00	\$5,520.00	\$16,560.00
11. 330507.13 Directional Drill - 8"	LF	180	\$80.00	\$14,400.00	\$96.00	\$17,280.00
Storm Sewer Items						
1. 202.0174 Removal of Pipe All Types And Sizes	LF	22	\$16.00	\$352.00	\$19.20	\$422.40
2. 714.0210 Pipe Conc Reinf 15In Cl III-Storm Drain	LF	80	\$40.00	\$3,200.00	\$48.00	\$3,840.00
3. 714.0315 Pipe Conc Reinf 18In Cl III-Storm Drain	LF	436	\$42.00	\$18,312.00	\$50.40	\$21,974.40
4. 714.0405 Pipe Conc Reinf 21In Cl III-Storm Drain	LF	85	\$48.00	\$4,080.00	\$57.60	\$4,896.00
5. 714.0620 Pipe Conc Reinf 24In Cl III-Storm Drain	LF	252	\$56.00	\$14,112.00	\$67.20	\$16,934.40

Sewer, Water, Storm and Street Improvement District No. 1323
 Brooks Harbor 9th Addition
 West Fargo ND
 Project No. 20502A
 Bid Date: May 14, 2019

Fox Underground, Inc.
 PO Box 739
 West Fargo, ND 58078

Northern Improvement Company
 PO Box 2846
 Fargo, ND 58108

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
6. 714.0910 Pipe Conc Reinf 36In Cl III-Storm Drain	LF	16	\$110.00	\$1,760.00	\$132.00	\$2,112.00
7. 714.4092 Pipe Conduit 12In-Storm Drain	LF	409	\$26.00	\$10,634.00	\$31.20	\$12,760.80
8. 722.0100 Manhole 48In	EA	4	\$2,500.00	\$10,000.00	\$3,000.00	\$12,000.00
9. 722.0110 Manhole 60In	EA	1	\$3,600.00	\$3,600.00	\$4,320.00	\$4,320.00
10. 722.0120 Manhole 72In	EA	1	\$5,500.00	\$5,500.00	\$6,600.00	\$6,600.00
11. 722.3510 Inlet-Type 2	EA	6	\$2,200.00	\$13,200.00	\$2,640.00	\$15,840.00
12. 722.4000 Inlet Catch Basin-Type A	EA	3	\$1,500.00	\$4,500.00	\$1,800.00	\$5,400.00
Roadway Items						
1. 202.0114 Removal of Concrete Pavement	SY	446	\$17.00	\$7,582.00	\$16.85	\$7,515.10
2. 202.0130 Removal of Curb & Gutter	LF	858	\$12.00	\$10,296.00	\$8.05	\$6,906.90
3. 202.0132 Removal of Bituminous Surfacing	SY	271	\$17.00	\$4,607.00	\$8.50	\$2,303.50
4. 203.0101 Common Excavation-Type A	CY	514	\$6.00	\$3,084.00	\$7.30	\$3,752.20
5. 203.0201 Embankment-Type A	CY	4,905	\$17.00	\$83,385.00	\$8.10	\$39,730.50
6. 230.00001 Subgrade Preparation-Type A-12In	SY	5,708	\$2.25	\$12,843.00	\$2.25	\$12,843.00
7. 302.0121 Aggregate Base Course Cl 5	CY	1,539	\$32.00	\$49,248.00	\$42.00	\$64,638.00
8. 430.0042 Superpave FAA 42	TON	1,277	\$87.00	\$111,099.00	\$90.00	\$114,930.00
9. 550.0300 8In Non-Reinf Concrete Pvmt Cl Ae-Doweled	SY	277	\$110.00	\$30,470.00	\$91.00	\$25,207.00
10. 709.0151 Geosynthetic Material Type R1	SY	5,708	\$3.00	\$17,124.00	\$1.80	\$10,274.40
11. 714.9696 Edgedrain Non Permeable Base	LF	3,043	\$3.00	\$9,129.00	\$5.00	\$15,215.00
12. 748.0140 Curb & Gutter-Type I	LF	3,139	\$19.00	\$59,641.00	\$19.00	\$59,641.00
13. 750.0030 Pigmented Imprinted Concrete	SY	39	\$110.00	\$4,290.00	\$100.00	\$3,900.00
14. 750.0115 Sidewalk Concrete 4In	SY	29	\$72.00	\$2,088.00	\$65.00	\$1,885.00
15. 750.0125 Sidewalk Concrete 5In	SY	139	\$77.00	\$10,703.00	\$70.00	\$9,730.00
16. 750.0140 Sidewalk Concrete 6In	SY	36	\$82.00	\$2,952.00	\$75.00	\$2,700.00
17. 750.0210 Concrete Median Nose Paving	SY	76	\$120.00	\$9,120.00	\$90.00	\$6,840.00
18. 750.2115 Detectable Warning Panels	SF	80	\$60.00	\$4,800.00	\$55.00	\$4,400.00
19. 754.0110 Flat Sheet For Signs-Type XI Refl Sheeting	SF	105	\$25.00	\$2,625.00	\$27.00	\$2,835.00
20. 754.0170 Flexible Delineators	EA	6	\$85.00	\$510.00	\$96.00	\$576.00

Sewer, Water, Storm and Street Improvement District No. 1323
 Brooks Harbor 9th Addition
 West Fargo ND
 Project No. 20502A
 Bid Date: May 14, 2019

Fox Underground, Inc.
 PO Box 739
 West Fargo, ND 58078

Northern Improvement Company
 PO Box 2846
 Fargo, ND 58108

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
21. 754.0206 Steel Galv Posts-Telescoping Perforated Tube	LF	123	\$20.00	\$2,460.00	\$20.40	\$2,509.20
22. 762.1325 Preformed Patterned Pvmt Mk 24In Line-Grooved	LF	156	\$40.00	\$6,240.00	\$40.80	\$6,364.80
23. C-002 Cluster Box Unit - 12 Unit	EA	4	\$1,700.00	\$6,800.00	\$2,400.00	\$9,600.00
24. C-002 Cluster Box Unit - 8 Unit	EA	2	\$1,650.00	\$3,300.00	\$1,800.00	\$3,600.00
General Items						
1. 15000 Storm Water Management	LSUM	1	\$3,500.00	\$3,500.00	\$1,800.00	\$1,800.00
2. 329300 Tree Reset	EA	2	\$300.00	\$600.00	\$240.00	\$480.00
3. 203.00001 Rear Yard Grading	SY	3,554	\$4.00	\$14,216.00	\$1.50	\$5,331.00
4. 203.0109 Topsoil	CY	5,604	\$3.75	\$21,015.00	\$5.90	\$33,063.60
5. 251.00002 Mowing	ACRE	12.60	\$55.00	\$693.00	\$54.00	\$680.40
6. 251.0300 Seeding Class II	ACRE	4.20	\$850.00	\$3,570.00	\$900.00	\$3,780.00
7. 253.0101 Straw Mulch	ACRE	6.40	\$375.00	\$2,400.00	\$390.00	\$2,496.00
8. 253.0201 Hydraulic Mulch	ACRE	1.10	\$1,800.00	\$1,980.00	\$1,980.00	\$2,178.00
9. 260.0100 Silt Fence Unsupported	LF	242	\$3.00	\$726.00	\$3.00	\$726.00
10. 261.0112 Fiber Rolls 12In	LF	85	\$3.50	\$297.50	\$3.50	\$297.50
11. 265.0100 Stabilized Construction Access	EA	1	\$1,800.00	\$1,800.00	\$2,100.00	\$2,100.00
12. 704.1100 Traffic Control	LSUM	1	\$2,500.00	\$2,500.00	\$2,200.00	\$2,200.00
13. 708.1540 Inlet Protection-Special	EA	22	\$120.00	\$2,640.00	\$114.00	\$2,508.00
Electrical Items						
1. 26000 Concrete Base - 5'	EA	11	\$750.00	\$8,250.00	\$840.00	\$9,240.00
2. 26000 Conductor - #6 USE/Cu.	LF	4,200	\$2.25	\$9,450.00	\$2.10	\$8,820.00
3. 26000 Innerduct - 1.5" PVC	LF	1,400	\$6.50	\$9,100.00	\$7.20	\$10,080.00
4. 26000 Light Standard - Single LED and 14' Post	EA	11	\$2,700.00	\$29,700.00	\$2,880.00	\$31,680.00
5. 26000 Light Standard Spare - Single LED and 14' Post	EA	1	\$2,000.00	\$2,000.00	\$2,268.00	\$2,268.00
6. 26000 Tracer Wire - #12	LF	1400	\$1.50	\$2,100.00	\$1.20	\$1,680.00
7. 26000 Remove - Light Standard - Double LED, 16' Post, and Base	EA	1	\$750.00	\$750.00	\$600.00	\$600.00
TOTAL OF ALL BID PRICES				\$1,079,380.50	\$1,149,141.50	

NOTICE OF AWARD

Date of Issuance: May 20, 2019

Owner: City of West Fargo

Owner's Contract No.:

Engineer: Moore Engineering, Inc.

Engineer's Project No.: 20502A

Project: Brooks Harbor 9th Addition

Contract Name: Sewer, Water, Storm and Street
Improvement District No. 1323

Bidder: Dirt Dynamics, LLC

Bidder's Address: 4206 3rd Ave N, Fargo, ND 58102

TO BIDDER:

You are notified that Owner has accepted your Bid dated May 14, 2019 for the above Contract, and that you are the Successful Bidder and are awarded a Contract for: Sewer, Water, Storm and Street Improvement District No. 1323.

The Contract Price of the awarded Contract is: \$1,018,496.56

3 unexecuted counterparts of the Agreement accompany this Notice of Award, and three copies of the Contract Documents accompanies this Notice of Award, or has been transmitted or made available to Bidder electronically.

3 sets of the Drawings will be delivered separately from the other Contract Documents.

You must comply with the following conditions precedent within 10 days of the date of receipt of this Notice of Award:

1. Deliver to Owner 3 counterparts of the Agreement, fully executed by Bidder.
2. Deliver with the executed Agreement(s) the Contract security [*e.g., performance and payment bonds*] and insurance documentation as specified in the Instructions to Bidders and General Conditions, Articles 2 and 6.
3. Other conditions precedent (if any):

Failure to comply with these conditions within the time specified will entitle Owner to consider you in default, annul this Notice of Award, and declare your Bid security forfeited.

Within ten days after you comply with the above conditions, Owner will return to you one fully executed counterpart of the Contract Documents.

Owner: City of West Fargo

Authorized Signature

By: Bernie L. Dardis

Title: President of the Board of City Commissioners

Copy: Engineer

May 20, 2019

Board of City Commissioners
City of West Fargo
800 4th Avenue East
West Fargo, ND 58078

RE: Sewer, Water, Storm and Street Improvement District No. 1323
Brooks Harbor 9th Addition
West Fargo, ND

WHEREAS, bids have been opened for Sewer, Water, Storm and Street Improvement District No. 1323 of the City of West Fargo, North Dakota and;

WHEREAS, an estimate of the cost of work is required by the Engineer for the City of West Fargo, North Dakota;

NOW, THEREFORE, I, Dustin T. Scott, do hereby certify as follows:

That I am the City Engineer for the City of West Fargo, North Dakota;

That the following is a careful and detailed statement of the estimated cost of the work in said Sewer, Water, Storm and Street Improvement District No. 1323 of the City of West Fargo, North Dakota.

IN WITNESS WHEREOF, I have set my hand and seal _____ day of _____, 2019.

DUSTIN T. SCOTT
ND REG. NO. 6257

Engineer for the City of West Fargo, ND



Sewer, Water, Storm and Street Improvement District No. 1323
Brooks Harbor 9th Addition
West Fargo ND
Project No. 20502A

ENGINEER'S STATEMENT OF ESTIMATED COST

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE
<u>Sanitary Sewer Items</u>				
1. 24200 Removal of Sanitary Sewer	LF	20	\$8.00	\$160.00
2. 24200 Removal of Sanitary Sewer Cleanout	EA	1	\$100.00	\$100.00
3. 330130.11 Televiser - Mainline	LF	1,382	\$2.00	\$2,764.00
4. 330130.11 Televiser - Service	LF	3,932	\$2.00	\$7,864.00
5. 330561 Sanitary Sewer - Connect to Existing Manhole	EA	1	\$3,000.00	\$3,000.00
6. 330561 Sanitary Sewer Manhole - 48"	EA	8	\$4,900.00	\$39,200.00
7. 333111 Sanitary Sewer - 8" PVC SDR 35	LF	1,382	\$35.00	\$48,370.00
8. 333111 Sanitary Sewer Service - 6" PVC SDR 26	LF	3,932	\$25.00	\$98,300.00
9. 333111 Sanitary Sewer Service Connection	EA	64	\$612.00	\$39,168.00
<u>Water Main Items</u>				
1. C-001 Removal of Gate Valve	EA	2	\$450.00	\$900.00
2. 331413 Fittings	LBS	952	\$5.60	\$5,331.20
3. 331413.00 Tapping Sleeve & Valve - 10" x 8"	EA	4	\$4,300.00	\$17,200.00
4. 331413 Water Main - 6" PVC C900	LF	15	\$28.00	\$420.00
5. 331413 Water Main - 8" PVC C900	LF	1,690	\$27.00	\$45,630.00
6. 331417 Water Service Connection - 1"	EA	64	\$1,000.00	\$64,000.00
7. 331417 Water Service Line - 1"	LF	2,598	\$16.00	\$41,568.00
8. 331419 Gate Valve & Box - 6"	EA	3	\$1,400.00	\$4,200.00
9. 331419 Gate Valve & Box - 8"	EA	3	\$1,900.00	\$5,700.00
10. 331419 Hydrant - 6"	EA	3	\$4,600.00	\$13,800.00
11. 330507.13 Directional Drill - 8"	LF	180	\$80.00	\$14,400.00
<u>Storm Sewer Items</u>				
1. 202.0174 Removal of Pipe All Types And Sizes	LF	22	\$20.00	\$440.00
2. 714.0210 Pipe Conc Reinf 15In Cl III-Storm Drain	LF	80	\$36.00	\$2,880.00
3. 714.0315 Pipe Conc Reinf 18In Cl III-Storm Drain	LF	436	\$39.00	\$17,004.00
4. 714.0405 Pipe Conc Reinf 21In Cl III-Storm Drain	LF	85	\$44.00	\$3,740.00
5. 714.0620 Pipe Conc Reinf 24In Cl III-Storm Drain	LF	252	\$53.00	\$13,356.00
6. 714.0910 Pipe Conc Reinf 36In Cl III-Storm Drain	LF	16	\$116.00	\$1,856.00
7. 714.4092 Pipe Conduit 12In-Storm Drain	LF	409	\$24.00	\$9,816.00
8. 722.0100 Manhole 48In	EA	4	\$2,750.00	\$11,000.00
9. 722.0110 Manhole 60In	EA	1	\$3,850.00	\$3,850.00
10. 722.0120 Manhole 72In	EA	1	\$6,100.00	\$6,100.00
11. 722.3510 Inlet-Type 2	EA	6	\$2,650.00	\$15,900.00
12. 722.4000 Inlet Catch Basin-Type A	EA	3	\$1,750.00	\$5,250.00
<u>Roadway Items</u>				
1. 202.0114 Removal of Concrete Pavement	SY	446	\$10.00	\$4,460.00
2. 202.0130 Removal of Curb & Gutter	LF	858	\$10.00	\$8,580.00
3. 202.0132 Removal of Bituminous Surfacing	SY	271	\$10.00	\$2,710.00
4. 203.0101 Common Excavation-Type A	CY	514	\$4.00	\$2,056.00
5. 203.0201 Embankment-Type A	CY	4,905	\$5.00	\$24,525.00
6. 230.00001 Subgrade Preparation-Type A-12In	SY	5,708	\$2.00	\$11,416.00
7. 302.0121 Aggregate Base Course Cl 5	CY	1,539	\$32.00	\$49,248.00
8. 430.0042 Superpave FAA 42	TON	1,277	\$88.00	\$112,376.00
9. 550.0300 8In Non-Reinf Concrete Pvmt Cl Ae-Doweled	SY	277	\$94.50	\$26,176.50
10. 709.0151 Geosynthetic Material Type R1	SY	5,708	\$1.90	\$10,845.20

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	
11. 714.9696 Edgedrain Non Permeable Base	LF	3,043	\$5.50	\$16,736.50	
12. 748.0140 Curb & Gutter-Type I	LF	3,139	\$18.75	\$58,856.25	
13. 750.0030 Pigmented Imprinted Concrete	SY	39	\$105.00	\$4,095.00	
14. 750.0115 Sidewalk Concrete 4In	SY	29	\$68.25	\$1,979.25	
15. 750.0125 Sidewalk Concrete 5In	SY	139	\$73.50	\$10,216.50	
16. 750.0140 Sidewalk Concrete 6In	SY	36	\$79.00	\$2,844.00	
17. 750.0210 Concrete Median Nose Paving	SY	76	\$95.00	\$7,220.00	
18. 750.2115 Detectable Warning Panels	SF	80	\$58.00	\$4,640.00	
19. 754.0110 Flat Sheet For Signs-Type XI Refl Sheeting	SF	105	\$24.00	\$2,520.00	
20. 754.0170 Flexible Delineators	EA	6	\$84.00	\$504.00	
21. 754.0206 Steel Galv Posts-Telescoping Perforated Tube	LF	123	\$18.00	\$2,214.00	
22. 762.1325 Preformed Patterned Pvmt Mk 24In Line-Grooved	LF	156	\$36.00	\$5,616.00	
23. C-002 Cluster Box Unit - 12 Unit	EA	4	\$2,800.00	\$11,200.00	
24. C-002 Cluster Box Unit - 8 Unit	EA	2	\$2,200.00	\$4,400.00	
General Items					
1. 15000 Storm Water Management	LSUM	1	\$3,000.00	\$3,000.00	
2. 329300.00 Tree Reset	EA	2	\$210.00	\$420.00	
3. 203.00001 Rear Yard Grading	SY	3,554	\$2.00	\$7,108.00	
4. 203.0109 Topsoil	CY	5,604	\$2.75	\$15,411.00	
5. 251.00002 Mowing	ACRE	13	\$48.00	\$604.80	
6. 251.0300 Seeding Class II	ACRE	4	\$788.00	\$3,309.60	
7. 253.0101 Straw Mulch	ACRE	6	\$342.00	\$2,188.80	
8. 253.0201 Hydraulic Mulch	ACRE	1	\$1,730.00	\$1,903.00	
9. 260.0100 Silt Fence Unsupported	LF	242	\$2.63	\$636.46	
10. 261.0112 Fiber Rolls 12In	LF	85	\$3.10	\$263.50	
11. 265.0100 Stabilized Construction Access	EA	1	\$1,500.00	\$1,500.00	
12. 704.1100 Traffic Control	L SUM	1	\$2,170.00	\$2,170.00	
13. 708.1540 Inlet Protection-Special	EA	22	\$100.00	\$2,200.00	
Electrical Items					
1. 26000 Concrete Base - 5'	EA	11	\$440.00	\$4,840.00	
2. 26000 Conductor - #6 USE/Cu.	LF	4,200	\$2.10	\$8,820.00	
3. 26000 Innerduct - 1.5" PVC	LF	1,400	\$4.15	\$5,810.00	
4. 26000 Light Standard - Single LED and 14' Post	EA	11	\$2,280.00	\$25,080.00	
5. 26000 Light Standard Spare - Single LED and 14' Post	EA	1	\$2,120.00	\$2,120.00	
6. 26000 Tracer Wire - #12	LF	1,400	\$0.40	\$560.00	
7. 26000 Remove - Light Standard - Double LED, 16' Post, and Base	EA	1	\$1,850.00	\$1,850.00	
				Construction Subtotal	\$1,018,496.56
				Contingencies	\$101,850.44
				Total Construction	\$1,120,347.00
				Study & Report	\$5,000.00
				Land Acquisition	\$3,000.00
				Engineering (11%)	\$123,238.17
				Additional Consultanting Services	\$6,500.00
				Legal & Administration	\$56,017.35
				Bond Discount	\$45,000.00
				TOTAL COST	\$1,359,103.00

Preliminary Special Assessment Allocations based on Bid Results

Brooks Harbor 9th Addition
Sewer, Water, Storm and Street Imp. Dist. No. 1323

Revised 05/15/19
Moore Proj: 20502A

Subdivision or Legal Description	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Preliminary Assessment
Preliminary Plat for Brooks Harbor 9th Addition	1	1	02415800010000	1.00	38	0.11	0.11	1	\$20,039.57
Preliminary Plat for Brooks Harbor 9th Addition	1	2	02415800020000	1.00	30	0.13	0.13	1	\$17,093.37
Preliminary Plat for Brooks Harbor 9th Addition	1	3	02415800030000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	1	4	02415800040000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	1	5	02415800050000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	1	6	02415800060000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	1	7	02415800070000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	1	8	02415800080000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	1	9	02415800090000	1.00	20	0.12	0.12	1	\$12,479.55
Preliminary Plat for Brooks Harbor 9th Addition	1	10	02415800100000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	1	11	02415800110000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	1	12	02415800120000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	1	13	02415800130000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	1	14	02415800140000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	1	15	02415800150000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	1	16	02415800160000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	1	17	02415800170000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	1	18	02415800180000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	1	19	02415800190000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	1	20	02415800200000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	1	21	02415800210000	1.00	29	0.11	0.11	1	\$16,184.08
Preliminary Plat for Brooks Harbor 9th Addition	1	22	02415800220000	1.00	28	0.11	0.11	1	\$15,745.23
Preliminary Plat for Brooks Harbor 9th Addition	1	23	02415800230000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	1	24	02415800240000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	1	25	02415800250000	1.00	40	0.09	0.09	1	\$20,567.14
Preliminary Plat for Brooks Harbor 9th Addition	1	26	02415800260000	1.00	50	0.11	0.11	1	\$25,289.11
Preliminary Plat for Brooks Harbor 9th Addition	2	1	02415800270000	1.00	64	0.11	0.11	1	\$31,224.40
Preliminary Plat for Brooks Harbor 9th Addition	2	2	02415800280000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	3	02415800290000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	4	02415800300000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	5	02415800310000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	6	02415800320000	1.00	64	0.11	0.11	1	\$31,226.20
Preliminary Plat for Brooks Harbor 9th Addition	2	7	02415800330000	1.00	64	0.11	0.11	1	\$31,225.30
Preliminary Plat for Brooks Harbor 9th Addition	2	8	02415800340000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	9	02415800350000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	10	02415800360000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	11	02415800370000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	12	02415800380000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	13	02415800390000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	14	02415800400000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	15	02415800410000	1.00	68	0.11	0.11	1	\$32,950.06
Preliminary Plat for Brooks Harbor 9th Addition	2	16	02415800420000	1.00	66	0.11	0.11	1	\$32,000.71
Preliminary Plat for Brooks Harbor 9th Addition	2	17	02415800430000	1.00	40	0.09	0.09	1	\$20,567.14
Preliminary Plat for Brooks Harbor 9th Addition	2	18	02415800440000	1.00	50	0.11	0.11	1	\$25,289.11
Preliminary Plat for Brooks Harbor 9th Addition	2	19	02415800450000	1.00	50	0.11	0.11	1	\$25,289.11
Preliminary Plat for Brooks Harbor 9th Addition	2	20	02415800460000	1.00	32	0.12	0.12	1	\$17,631.76
Preliminary Plat for Brooks Harbor 9th Addition	2	21	02415800470000	1.00	32	0.11	0.11	1	\$17,592.11
Preliminary Plat for Brooks Harbor 9th Addition	2	22	02415800480000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	2	23	02415800490000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	2	24	02415800500000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	2	25	02415800510000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	2	26	02415800520000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	2	27	02415800530000	1.00	35	0.08	0.08	1	\$18,206.15
Preliminary Plat for Brooks Harbor 9th Addition	2	28	02415800540000	1.00	35	0.09	0.09	1	\$18,455.35
Preliminary Plat for Brooks Harbor 9th Addition	2	29	02415800550000	1.00	29	0.12	0.12	1	\$16,490.05
Preliminary Plat for Brooks Harbor 9th Addition	2	30	02415800560000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	31	02415800570000	1.00	37	0.08	0.08	1	\$19,150.55
Preliminary Plat for Brooks Harbor 9th Addition	2	32	02415800580000	1.00	35	0.12	0.12	1	\$19,014.11
Preliminary Plat for Brooks Harbor 9th Addition	3	1	02415800590000	1.00	118	0.18	0.18	1	\$55,628.95
Preliminary Plat for Brooks Harbor 9th Addition	3	2	02415800600000	1.00	45	0.16	0.16	1	\$24,014.56
Preliminary Plat for Brooks Harbor 9th Addition	3	3	02415800610000	1.00	45	0.16	0.16	1	\$24,050.61
Preliminary Plat for Brooks Harbor 9th Addition	3	4	02415800620000	1.00	45	0.15	0.15	1	\$23,890.19
Preliminary Plat for Brooks Harbor 9th Addition	3	5	02415800630000	1.00	45	0.14	0.14	1	\$23,729.77
Preliminary Plat for Brooks Harbor 9th Addition	3	6	02415800640000	1.00	99	0.15	0.15	1	\$46,936.16

Construction Dollars (Includes Contingencies)	
Local S & W	\$542,069.78
Local Street	\$335,189.37
Local Street Lighting	\$53,988.04
Local Storm	\$100,311.27
9th St & 22nd Ave Street Work	\$88,788.54
Total	\$1,120,347.00
Based on Assessment Total	
Local S & W	\$656,138.19
Local Street	\$405,723.68
Local Street Lighting	\$65,348.81
Local Storm	\$121,419.89
9th St & 22nd Ave Street Work	\$107,472.42
Land Acquisition	\$3,000.00
Hookup Fee	\$0.00
Total Assessment	\$1,359,103.00

2,639		6.34		6.34		64		\$1,359,103.00	
Engineering, Admin., Legal, etc. = 21.04%									
Local Sewer & Water Cost per FF					\$248.63				
Local Street Cost per FF					\$153.74				
Local Street Lighting Cost per FF					\$24.76				
Local Storm Cost per SF					\$0.44				
9th St & 22nd Ave Street Work Cost per EU					\$1,679.26				
Land Acquisition Cost per SF					\$0.01				
Hookup Fee Cost per SF					\$0.00				



ENGINEERING DEPARTMENT

800 4 Ave E, Suite 1
West Fargo, ND 58078
701.433.5300
www.westfargond.gov

AGENDA ITEM REQUEST
BOARD OF CITY COMMISSIONERS
WEST FARGO, NORTH DAKOTA

OFFICE USE: AGENDA ITEM # _____
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** "Consent" or "Regular" Agenda Item? **Regular** **

1. CONTACT PERSON(s):
 - Dustin T. Scott, City Engineer (433-5425)
2. DATE OF MEETING: **May 20, 2019**
3. DESCRIPTION OF REQUEST:
 - Review letter prepared by Moore Engineering including bid results and a recommendation to award (2) construction contracts for *Storm Sewer Improvement District No. 4063*.
 - Review Engineer's Statement of Cost for *Storm Sewer Improvement District No. 4063 (pursuant to N.D.C.C. 40-22-29)*.
4. LOCATION (address; legal; etc.):
 - Wilds Development south of 52nd Ave
5. ACTION(S) REQUESTED:
 1. Award (2) construction contracts for *Storm Sewer Improvement District No. 4063* as follows:
 - a. "General Contract" – award to Key Contracting, Inc. in the amount of \$1,891,860.80
 - b. "Electrical Contract" – award to Superior Electric of Fargo in the amount of \$340,419.00



925 10th Avenue East
Suite 1
West Fargo, ND 58078

P: 701.282.4692
F: 701.282.4530



May 15, 2019

Dustin T. Scott, PE
City Engineer
City of West Fargo
800 4th Avenue East
West Fargo ND 58078

Re: Storm Sewer Improvement District No. 4063
Storm Sewer Lift Station (SM 73) - The Wilds South
West Fargo, ND

Dear Dustin:

Bids were opened for the above referenced project on May 9, 2019 at 10:00 a.m. at West Fargo City Hall. The bids were compiled and the bid tabulation is enclosed for your review.

Due to North Dakota Century Code, this project was required to be bid with a multiple prime option. Based on the bid results, I hereby recommend award of the General Contract to Key Contracting, Inc. for their bid of \$1,891,860.80 and the Electrical Contract to Superior Electric of Fargo for their bid of \$340,419.00, for a total project bid amount of \$2,232,279.80.

John T. Jones Construction was the apparent low bidder for the Electrical Contract. However, shortly after the bid, they indicated they did not intend to bid the Electrical Contract except as part of a single prime contract. They have requested their bid for the Electrical Contract be withdrawn (see enclosed). We recommend allowing them to withdraw their bid and per our discussions, we understand you agree with this direction.

Our Engineer's Opinion of Probable Cost with the Engineer's Report was \$2,310,000. Our final engineer's estimate was \$2,300,000.

Please review and provide comment at your earliest convenience. If you do not have any questions or comments, please present it to the West Fargo City Commission. To meet the project's proposed schedule, the Contracts are anticipated to be awarded by the City Commission on May 20, 2019. If the Contracts are awarded by the Commission, please sign, date, and return the enclosed Notice of Awards.

Also enclosed is the Engineer's Statement of Cost for your review and approval. Please sign the letter and return upon your approval.

Lastly, enclosed is an updated allocation for the Special Assessments of the properties benefitting from the project, based on the City's Special Assessment Policy and the provided Engineer's Statement of Cost.

Sincerely,

Dan Hanson

Dan Hanson, PE
Project Manager

Enclosures:

- Bid Tabulations
- John T. Jones withdrawal request
- Notice of Award – General Contract
- Notice of Award – Electrical Contract
- Engineer's Statement of Cost
- Special Assessment Allocation based on Bid Results

Storm Sewer Improvement District No. 4063
 Storm Sewer Lift Station (Sm 73) - The Wilds South
 West Fargo ND
 Project No. 18400
 Bid Date: May 9, 2019

Key Contracting, Inc.
 245 7th Avenue NE
 West Fargo, ND 58078

John T. Jones Construction Co.
 2213 7th Ave N
 Fargo, ND 58102

Superior Electric of Fargo, LLC
 1533 10th St N
 Fargo, ND 58102

JDP Electric, Inc.
 803 28th Street S
 Fargo, ND 58103

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
GENERAL CONTRACT - BASE BID										
Storm Lift Station										
1. C-002 Generator Building	LSUM	1	\$260,000.00	\$260,000.00	\$185,000.00	\$185,000.00		NO BID		NO BID
2. C-002 Pump Station & Outfall	LSUM	1	\$1,500,000.00	\$1,500,000.00	\$1,789,747.34	\$1,789,747.34		NO BID		NO BID
Site Improvements										
3. 15000 Storm Water Management	LSUM	1	\$3,500.00	\$3,500.00	\$840.00	\$840.00		NO BID		NO BID
4. 203.0109 Topsoil	CY	677	\$12.00	\$8,124.00	\$21.60	\$14,623.20		NO BID		NO BID
5. 251.0000z Mowing	ACRE	4	\$100.00	\$400.00	\$78.00	\$312.00		NO BID		NO BID
6. 251.0300 Seeding Class III	ACRE	0.8	\$2,500.00	\$2,000.00	\$3,000.00	\$2,400.00		NO BID		NO BID
7. 253.0201 Hydraulic Mulch	ACRE	0.4	\$3,500.00	\$1,400.00	\$3,600.00	\$1,440.00		NO BID		NO BID
8. 255.0101 Ecb Type 1	SY	2,197	\$2.00	\$4,394.00	\$1.98	\$4,350.06		NO BID		NO BID
9. 256.0500 Riprap-Special	CY	180	\$120.00	\$21,600.00	\$154.20	\$27,756.00		NO BID		NO BID
10. 260.0100 Silt Fence Unsupported	LF	1,491	\$2.20	\$3,280.20	\$2.40	\$3,578.40		NO BID		NO BID
11. 261.0112 Fiber Rolls 12In	LF	156	\$3.60	\$561.60	\$4.20	\$655.20		NO BID		NO BID
12. 262.0100 Flotation Silt Curtain	LF	25	\$35.00	\$875.00	\$19.20	\$480.00		NO BID		NO BID
13. 265.0100 Stabilized Construction Access	EA	1	\$3,500.00	\$3,500.00	\$600.00	\$600.00		NO BID		NO BID
14. 302.0121 Aggregate Base Course Cl 5	CY	55	\$55.00	\$3,025.00	\$30.00	\$1,650.00		NO BID		NO BID
15. 708.1540 Inlet Protection-Special	EA	4	\$200.00	\$800.00	\$198.00	\$792.00		NO BID		NO BID
16. 750.0115 Sidewalk Concrete 4In	SY	52	\$81.00	\$4,212.00	\$64.80	\$3,369.60		NO BID		NO BID
17. 750.0125 Sidewalk Concrete 5In	SY	302	\$72.00	\$21,744.00	\$70.20	\$21,200.40		NO BID		NO BID
18. 750.0140 Sidewalk Concrete 6In	SY	7	\$90.00	\$630.00	\$75.60	\$529.20		NO BID		NO BID
19. 750.1016 Driveway Concrete 6In Reinforced	SY	56	\$90.00	\$5,040.00	\$81.60	\$4,569.60		NO BID		NO BID
20. 750.1021 Driveway Concrete 8In Reinforced	SY	265	\$99.00	\$26,235.00	\$85.20	\$22,578.00		NO BID		NO BID
21. 750.2115 Detectable Warning Panels	SF	40	\$60.00	\$2,400.00	\$28.80	\$1,152.00		NO BID		NO BID
22. 329300 Tree - Small Deciduous	EA	10	\$450.00	\$4,500.00	\$450.00	\$4,500.00		NO BID		NO BID
23. 329300 Tree - Large Evergreen	EA	5	\$500.00	\$2,500.00	\$540.00	\$2,700.00		NO BID		NO BID
24. 329300 Tree - Large Deciduous	EA	10	\$575.00	\$5,750.00	\$630.00	\$6,300.00		NO BID		NO BID
25. C-505 Bollard Post	EA	9	\$450.00	\$4,050.00	\$402.00	\$3,618.00		NO BID		NO BID
26. 754.9095 Signing	L SUM	1	\$900.00	\$900.00	\$360.00	\$360.00		NO BID		NO BID
27. 970.0095 Herbicide Weed Control	ACRE	0.8	\$550.00	\$440.00	\$600.00	\$480.00		NO BID		NO BID

Storm Sewer Improvement District No. 4063
 Storm Sewer Lift Station (Sm 73) - The Wilds South
 West Fargo ND
 Project No. 18400
 Bid Date: May 9, 2019

Key Contracting, Inc.
 245 7th Avenue NE
 West Fargo, ND 58078

John T. Jones Construction Co.
 2213 7th Ave N
 Fargo, ND 58102

Superior Electric of Fargo, LLC
 1533 10th St N
 Fargo, ND 58102

JDP Electric, Inc.
 803 28th Street S
 Fargo, ND 58103

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
<u>ELECTRICAL CONTRACT - BASE BID</u>										
<u>Electrical Items</u>										
1. C-002 Pump Station Electrical	LSUM	1		NO BID	\$161,419.00	\$161,419.00	\$170,419.00	\$170,419.00	\$174,201.00	\$174,201.00
2. C-002 Controls Cash Allowance	LSUM	1		NO BID	\$170,000.00	\$170,000.00	\$170,000.00	\$170,000.00	\$170,000.00	\$170,000.00
TOTAL GENERAL CONTRACT				\$1,891,860.80		\$2,105,581.00		NO BID		NO BID
TOTAL ELECTRICAL CONTRACT				NO BID		*\$331,419.00		\$340,419.00		\$344,201.00
TOTAL OF ALL BID PRICES				\$1,891,860.80		\$2,437,000.00		\$340,419.00		\$344,201.00

*John T. Jones requested Electrical Bid be withdrawn.

Storm Sewer Improvement District No. 4063
 Storm Sewer Lift Station (Sm 73) - The Wilds South
 West Fargo ND
 Project No. 18400
 Bid Date: May 9, 2019

John's Refrigeration & Electric, Inc.
 PO Box 251
 Valley City, ND 58072

Hi-Line Electric, Inc.
 143 10th St SW
 Valley City, ND 58072

Rick Electric, Inc.
 3010 24th Ave S
 Moorhead, MN 56560

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
<u>GENERAL CONTRACT - BASE BID</u>								
<u>Storm Lift Station</u>								
1. C-002 Generator Building	LSUM	1		NO BID		NO BID		NO BID
2. C-002 Pump Station & Outfall	LSUM	1		NO BID		NO BID		NO BID
<u>Site Improvements</u>								
3. 15000 Storm Water Management	LSUM	1		NO BID		NO BID		NO BID
4. 203.0109 Topsoil	CY	677		NO BID		NO BID		NO BID
5. 251.0000z Mowing	ACRE	4		NO BID		NO BID		NO BID
6. 251.0300 Seeding Class III	ACRE	0.8		NO BID		NO BID		NO BID
7. 253.0201 Hydraulic Mulch	ACRE	0.4		NO BID		NO BID		NO BID
8. 255.0101 Ecb Type 1	SY	2,197		NO BID		NO BID		NO BID
9. 256.0500 Riprap-Special	CY	180		NO BID		NO BID		NO BID
10. 260.0100 Silt Fence Unsupported	LF	1,491		NO BID		NO BID		NO BID
11. 261.0112 Fiber Rolls 12In	LF	156		NO BID		NO BID		NO BID
12. 262.0100 Flotation Silt Curtain	LF	25		NO BID		NO BID		NO BID
13. 265.0100 Stabilized Construction Access	EA	1		NO BID		NO BID		NO BID
14. 302.0121 Aggregate Base Course Cl 5	CY	55		NO BID		NO BID		NO BID
15. 708.1540 Inlet Protection-Special	EA	4		NO BID		NO BID		NO BID
16. 750.0115 Sidewalk Concrete 4In	SY	52		NO BID		NO BID		NO BID
17. 750.0125 Sidewalk Concrete 5In	SY	302		NO BID		NO BID		NO BID
18. 750.0140 Sidewalk Concrete 6In	SY	7		NO BID		NO BID		NO BID
19. 750.1016 Driveway Concrete 6In Reinforced	SY	56		NO BID		NO BID		NO BID
20. 750.1021 Driveway Concrete 8In Reinforced	SY	265		NO BID		NO BID		NO BID
21. 750.2115 Detectable Warning Panels	SF	40		NO BID		NO BID		NO BID
22. 329300 Tree - Small Deciduous	EA	10		NO BID		NO BID		NO BID
23. 329300 Tree - Large Evergreen	EA	5		NO BID		NO BID		NO BID
24. 329300 Tree - Large Decidous	EA	10		NO BID		NO BID		NO BID
25. C-505 Bollard Post	EA	9		NO BID		NO BID		NO BID
26. 754.9095 Signing	L SUM	1		NO BID		NO BID		NO BID
27. 970.0095 Herbicide Weed Control	ACRE	0.8		NO BID		NO BID		NO BID

Storm Sewer Improvement District No. 4063
 Storm Sewer Lift Station (Sm 73) - The Wilds South
 West Fargo ND
 Project No. 18400
 Bid Date: May 9, 2019

John's Refrigeration & Electric, Inc.
 PO Box 251
 Valley City, ND 58072

Hi-Line Electric, Inc.
 143 10th St SW
 Valley City, ND 58072

Rick Electric, Inc.
 3010 24th Ave S
 Moorhead, MN 56560

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE	BID UNIT PRICE	BID PRICE
<u>ELECTRICAL CONTRACT - BASE BID</u>								
<u>Electrical Items</u>								
1. C-002 Pump Station Electrical	LSUM	1	\$182,847.00	\$182,847.00		\$205,000.00	\$209,000.00	\$209,000.00
2. C-002 Controls Cash Allowance	LSUM	1	\$170,000.00	\$170,000.00		\$170,000.00	\$170,000.00	\$170,000.00
TOTAL GENERAL CONTRACT					NO BID		NO BID	NO BID
TOTAL ELECTRICAL CONTRACT					\$352,847.00		\$375,000.00	\$379,000.00
TOTAL OF ALL BID PRICES					\$352,847.00		\$375,000.00	\$379,000.00

From: Tim Vanderzanden [<mailto:timjv@jtjconst.com>]
Sent: Friday, May 10, 2019 12:24 PM
To: Matt Welle <MWelle@mooreengineeringinc.com>
Cc: Tyrel Clark <Tyrel.Clark@mooreengineeringinc.com>; Dan Hanson <DHanson@mooreengineeringinc.com>; Sue Daul <sue@jtjconst.com>
Subject: RE: West Fargo SM-73 Storm Lift Station

Matt – Thanks for getting back to me. I apologize for the bid form mistake. Attached you will find both superior electric’s quote which will match the total electrical line item as well as our bid spreadsheet indicating that we used the total electrical line to show how we reached our Total of all bid prices. Let me know if you have any questions. Again, I appreciate yours, and the Owners understanding on this issue and look forward to connecting in the future.

Thank you,

2213 7th Ave N
Fargo, ND 58102
www.jtjconst.com

Tim Vanderzanden
Project Manager |
Estimator
(P)701-232-3358 X330
(C)701-371-7117
Timjv@jtjconst.com

From: Matt Welle <MWelle@mooreengineeringinc.com>
Sent: Friday, May 10, 2019 12:20 PM
To: Tim Vanderzanden <timjv@jtjconst.com>
Cc: Tyrel Clark <Tyrel.Clark@mooreengineeringinc.com>; Dan Hanson <DHanson@mooreengineeringinc.com>
Subject: RE: West Fargo SM-73 Storm Lift Station

Tim,

As we discussed, please send over your ‘proof’ of not intending to do only the Electrical Contract for this project. This will help demonstrate and justify your bid withdrawal to the City Commission. Our apologies for the confusion on this matter as well. Nevertheless, thank you for submitting your bid on the project.

Matthew W. Welle, PE
Project Manager

moore engineering, inc.

Phone 701.282.4692 | Direct 701.499.5830
925 10th Ave E, West Fargo, ND 58078
mwelle@mooreengineeringinc.com | www.mooreengineeringinc.com

From: Tyrel Clark <Tyrel.Clark@mooreengineeringinc.com>
Sent: Friday, May 10, 2019 9:16 AM
To: Matt Welle <MWelle@mooreengineeringinc.com>
Subject: FW: West Fargo SM-73 Storm Lift Station

Tyrel Clark, PE

Water/Wastewater Group Leader
moore engineering, inc.

Phone 701.282.4692 | Fax 701.282.4530
Direct 701.551.1082 | Cell 701.850.6723
925 10th Ave E, West Fargo, ND 58078
tclark@mooreengineeringinc.com | www.mooreengineeringinc.com

From: Tim Vanderzanden [<mailto:timjv@jtjconst.com>]
Sent: Thursday, May 9, 2019 2:30 PM
To: Tyrel Clark <Tyrel.Clark@mooreengineeringinc.com>
Cc: Sue Daul <sue@jtjconst.com>
Subject: West Fargo SM-73 Storm Lift Station

Tyrel – I left you a voicemail earlier today regarding the SM-73 bid but haven't heard from you. There was some discrepancy regarding the electrical number and the number provided was not a stand alone bid for electrical construction. We interpreted the electrical line as a breakout similar to the rest of the bid form to get to our total amount. Please feel free to give me a call. We can provide proof if necessary.

Thanks,

2213 7th Ave N
Fargo, ND 58102
www.jtjconst.com

Tim Vanderzanden
Project Manager |
Estimator
(P)701-232-3358 X330
(C)701-371-7117
Timjv@jtjconst.com

Estimating

From: merbes <merbes@superiorelectricfargo.com>
Sent: Thursday, May 9, 2019 9:40 AM
To: Estimating
Subject: Proposal Template
Attachments: Proposal Template.pdf

Attached is the quote

√ 26



1533 10th ST N
FARGO, ND 58102
PHONE: 701-850-9064
merbes@superiorelectricfargo.com

Project Name: West Fargo SM73 Lift Station

5/9/19

Proposal to Included:

- Provide and install generator per plan and specs
- Install MCC and SCP per specs
- Install all power and lighting per plans and specs
- CCEC fees for power to building
- Transformer pad
- Permit and taxes

Excluded from proposal:

- Bonding

Total \$161,419.00

Control Cabinet Allowance \$ 170,000.00

~~Cass County ELEC Allowance: \$12,900~~

Grand Total \$331,419.00

\$344,319.

Sincerely,

Marc Erbes
701-850-9064
merbes@superiorelectricfargo.com

Good for 30 days

NOTICE OF AWARD

Date of Issuance: May 20, 2019

Owner: City of West Fargo

Owner's Contract No.:

Engineer: Moore Engineering, Inc.

Engineer's Project No.: 18400

Project: Storm Sewer Lift Station (SM 73) - The Wilds
South

Contract Name: Storm Sewer Improvement District No.
4063

Bidder: Key Contracting, Inc.

Bidder's Address: 245 7th Avenue NE, West Fargo, ND 58078

TO BIDDER:

You are notified that Owner has accepted your Bid dated May 9, 2019 for the above Contract, and that you are the Successful Bidder and are awarded the General Contract for: Storm Sewer Improvement District No. 4063.

The Contract Price of the awarded Contract is: \$1,891,860.80

3 unexecuted counterparts of the Agreement accompany this Notice of Award, and three copies of the Contract Documents accompanies this Notice of Award, or has been transmitted or made available to Bidder electronically.

3 sets of the Drawings will be delivered separately from the other Contract Documents.

You must comply with the following conditions precedent within 10 days of the date of receipt of this Notice of Award:

1. Deliver to Owner 3 counterparts of the Agreement, fully executed by Bidder.
2. Deliver with the executed Agreement(s) the Contract security [*e.g., performance and payment bonds*] and insurance documentation as specified in the Instructions to Bidders and General Conditions, Articles 2 and 6.
3. Other conditions precedent (if any):

Failure to comply with these conditions within the time specified will entitle Owner to consider you in default, annul this Notice of Award, and declare your Bid security forfeited.

Within ten days after you comply with the above conditions, Owner will return to you one fully executed counterpart of the Contract Documents.

Owner: City of West Fargo

Authorized Signature

By: Bernie L. Dardis

Title: President of the Board of City Commissioners

Copy: Engineer

NOTICE OF AWARD

Date of Issuance: May 20, 2019

Owner: City of West Fargo

Owner's Contract No.:

Engineer: Moore Engineering, Inc.

Engineer's Project No.: 18400

Project: Storm Sewer Lift Station (SM 73) - The Wilds
South

Contract Name: Storm Sewer Improvement District No.
4063

Bidder: Superior Electric of Fargo, LLC

Bidder's Address: 1533 10th St N, Fargo, ND 58102

TO BIDDER:

You are notified that Owner has accepted your Bid dated May 9, 2019 for the above Contract, and that you are the Successful Bidder and are awarded the Electrical Contract for: Storm Sewer Improvement District No. 4063.

The Contract Price of the awarded Contract is: \$340,419.00

3 unexecuted counterparts of the Agreement accompany this Notice of Award, and three copies of the Contract Documents accompanies this Notice of Award, or has been transmitted or made available to Bidder electronically.

3 sets of the Drawings will be delivered separately from the other Contract Documents.

You must comply with the following conditions precedent within 10 days of the date of receipt of this Notice of Award:

1. Deliver to Owner 3 counterparts of the Agreement, fully executed by Bidder.
2. Deliver with the executed Agreement(s) the Contract security [*e.g., performance and payment bonds*] and insurance documentation as specified in the Instructions to Bidders and General Conditions, Articles 2 and 6.
3. Other conditions precedent (if any):

Failure to comply with these conditions within the time specified will entitle Owner to consider you in default, annul this Notice of Award, and declare your Bid security forfeited.

Within ten days after you comply with the above conditions, Owner will return to you one fully executed counterpart of the Contract Documents.

Owner: City of West Fargo

Authorized Signature

By: Bernie L. Dardis

Title: President of the Board of City Commissioners

Copy: Engineer

May 20, 2019

Board of City Commissioners
City of West Fargo
800 4th Avenue East
West Fargo, ND 58078

RE: Storm Sewer Improvement District No. 4063
Storm Sewer Lift Station (SM 73) - The Wilds South
West Fargo, ND

WHEREAS, bids have been opened for Storm Sewer Improvement District No. 4063 of the City of West Fargo, North Dakota and;

WHEREAS, an estimate of the cost of work is required by the Engineer for the City of West Fargo, North Dakota;

NOW, THEREFORE, I, Dustin T. Scott, do hereby certify as follows:

That I am the City Engineer for the City of West Fargo, North Dakota;

That the following is a careful and detailed statement of the estimated cost of the work in said Storm Sewer Improvement District No. 4063 of the City of West Fargo, North Dakota.

IN WITNESS WHEREOF, I have set my hand and seal _____ day of _____, 2019.

DUSTIN T. SCOTT
ND REG. NO. 6257

Engineer for the City of West Fargo, ND



**Storm Sewer Improvement District No. 4063
Storm Sewer Lift Station (Sm 73) - The Wilds South
West Fargo ND
Project No. 18400
ENGINEER'S STATEMENT OF ESTIMATED COST**

BID ITEM NO. & DESCRIPTION	UNIT	ESTIMATED QUANTITY	BID UNIT PRICE	BID PRICE
<u>GENERAL CONTRACT - BASE BID</u>				
<u>Storm Lift Station</u>				
1. C-002 Generator Building	LSUM	1	\$260,000.00	\$260,000.00
2. C-002 Pump Station & Outfall	LSUM	1	\$1,500,000.00	\$1,500,000.00
<u>Site Improvements</u>				
3. 15000 Storm Water Management	LSUM	1	\$3,500.00	\$3,500.00
4. 203.0109 Topsoil	CY	677	\$12.00	\$8,124.00
5. 251.00002 Mowing	ACRE	4	\$100.00	\$400.00
6. 251.0300 Seeding Class III	ACRE	0.8	\$2,500.00	\$2,000.00
7. 253.0201 Hydraulic Mulch	ACRE	0.4	\$3,500.00	\$1,400.00
8. 255.0101 Ecb Type 1	SY	2,197	\$2.00	\$4,394.00
9. 256.0500 Riprap-Special	CY	180	\$120.00	\$21,600.00
10. 260.0100 Silt Fence Unsupported	LF	1,491	\$2.20	\$3,280.20
11. 261.0112 Fiber Rolls 12In	LF	156	\$3.60	\$561.60
12. 262.0100 Flotation Silt Curtain	LF	25	\$35.00	\$875.00
13. 265.0100 Stabilized Construction Access	EA	1	\$3,500.00	\$3,500.00
14. 302.0121 Aggregate Base Course Cl 5	CY	55	\$55.00	\$3,025.00
15. 708.1540 Inlet Protection-Special	EA	4	\$200.00	\$800.00
16. 750.0115 Sidewalk Concrete 4In	SY	52	\$81.00	\$4,212.00
17. 750.0125 Sidewalk Concrete 5In	SY	302	\$72.00	\$21,744.00
18. 750.0140 Sidewalk Concrete 6In	SY	7	\$90.00	\$630.00
19. 750.1016 Driveway Concrete 6In Reinforced	SY	56	\$90.00	\$5,040.00
20. 750.1021 Driveway Concrete 8In Reinforced	SY	265	\$99.00	\$26,235.00
21. 750.2115 Detectable Warning Panels	SF	40	\$60.00	\$2,400.00
22. 329300 Tree - Small Deciduous	EA	10	\$450.00	\$4,500.00
23. 329300 Tree - Large Evergreen	EA	5	\$500.00	\$2,500.00
24. 329300 Tree - Large Deciduous	EA	10	\$575.00	\$5,750.00
25. C-505 Bollard Post	EA	9	\$450.00	\$4,050.00
26. 754.9095 Signing	L SUM	1	\$900.00	\$900.00
27. 970.0095 Herbicide Weed Control	ACRE	0.8	\$550.00	\$440.00
<u>ELECTRICAL CONTRACT - BASE BID</u>				
<u>Electrical Items</u>				
1. C-002 Pump Station Electrical	LSUM	1	\$170,419.00	\$170,419.00
2. C-002 Controls Cash Allowance	LSUM	1	\$170,000.00	\$170,000.00
			Construction Subtotal	\$2,232,279.80
			Contingencies	\$223,228.20
			Total Construction	\$2,455,508.00
			Study & Report	\$3,800.00
			Engineering (11%)	\$270,105.88
			Additional Consultanting Services	\$33,200.00
			Legal & Administration	\$122,775.40
			Bond Discount	\$100,000.00
			TOTAL COST	\$2,985,390.00

Preliminary Special Assessment Allocations based on Bid Results

Storm Sewer Lift Station (SM73) - The Wilds South
 Storm Sewer Imp. Dist. No. 4063

Revised 5/15/19
 Moore Proj: 18400

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Assessment
The Wilds 7th Addition	1	1	02583100010000	1.00	0	0.20	0.20	1	\$3,306.33
The Wilds 7th Addition	1	2	02583100020000	1.00	0	0.18	0.18	1	\$2,915.46
The Wilds 7th Addition	1	3	02583100030000	1.00	0	0.18	0.18	1	\$2,880.01
The Wilds 7th Addition	1	4	02583100040000	1.00	0	0.23	0.23	1	\$3,781.22
The Wilds 7th Addition	1	5	02583100050000	1.00	0	0.39	0.39	1	\$6,434.95
The Wilds 7th Addition	1	6	02583100060000	1.00	0	0.36	0.36	1	\$5,827.14
The Wilds 7th Addition	1	7	02583100070000	1.00	0	0.21	0.21	1	\$3,406.10
The Wilds 7th Addition	1	8	02583100080000	1.00	0	0.21	0.21	1	\$3,425.79
The Wilds 7th Addition	1	9	02583100090000	1.00	0	0.31	0.31	1	\$5,144.51
The Wilds 7th Addition	1	10	02583100100000	1.00	0	0.24	0.24	1	\$4,009.80
The Wilds 7th Addition	1	11	02583100110000	1.00	0	0.24	0.24	1	\$3,893.95
The Wilds 7th Addition	1	12	02583100120000	1.00	0	0.38	0.38	1	\$6,270.69
The Wilds 7th Addition	1	13	02583100130000	1.00	0	0.23	0.23	1	\$3,823.55
The Wilds 7th Addition	1	14	02583100140000	1.00	0	0.15	0.15	1	\$2,442.70
The Wilds 7th Addition	1	15	02583100150000	1.00	0	0.18	0.18	1	\$2,898.56
The Wilds 7th Addition	1	16	02583100160000	1.00	0	0.18	0.18	1	\$2,884.94
The Wilds 7th Addition	1	17	02583100170000	1.00	0	0.16	0.16	1	\$2,554.62
The Wilds 7th Addition	1	18	02583100180000	1.00	0	0.17	0.17	1	\$2,753.50
The Wilds 7th Addition	1	19	02583100190000	1.00	0	0.27	0.27	1	\$4,359.49
The Wilds 7th Addition	1	20	02583100200000	1.00	0	0.35	0.35	1	\$5,742.47
The Wilds 7th Addition	1	21	02583100210000	1.00	0	0.22	0.22	1	\$3,668.32
The Wilds 7th Addition	1	22	02583100220000	1.00	0	0.15	0.15	1	\$2,530.00
The Wilds 7th Addition	1	23	02583100230000	1.00	0	0.15	0.15	1	\$2,448.61
The Wilds 7th Addition	1	24	02583100240000	1.00	0	0.15	0.15	1	\$2,448.61
The Wilds 7th Addition	1	25	02583100250000	1.00	0	0.15	0.15	1	\$2,448.61
The Wilds 7th Addition	1	26	02583100260000	1.00	0	0.15	0.15	1	\$2,448.61
The Wilds 7th Addition	1	27	02583100270000	1.00	0	0.15	0.15	1	\$2,448.28
The Wilds 7th Addition	1	28	02583100280000	1.00	0	0.15	0.15	1	\$2,448.94
The Wilds 7th Addition	1	29	02583100290000	1.00	0	0.15	0.15	1	\$2,448.61
The Wilds 7th Addition	1	30	02583100300000	1.00	0	0.15	0.15	1	\$2,448.61
The Wilds 7th Addition	1	31	02583100310000	1.00	0	0.15	0.15	1	\$2,448.61
The Wilds 7th Addition	1	32	02583100320000	1.00	0	0.19	0.19	1	\$3,149.13
The Wilds 7th Addition	1	33	02583100330000	1.00	0	0.29	0.29	1	\$4,791.38
The Wilds 7th Addition	1	34	02583100340000	1.00	0	0.33	0.33	1	\$5,475.49
The Wilds 7th Addition	1	35	02583100350000	1.00	0	0.21	0.21	1	\$3,465.50
The Wilds 7th Addition	1	36	02583100360000	1.00	0	0.15	0.15	1	\$2,448.61
The Wilds 7th Addition	1	37	02583100370000	1.00	0	0.15	0.15	1	\$2,448.61
The Wilds 7th Addition	1	38	02583100380000	1.00	0	0.15	0.15	1	\$2,448.61
The Wilds 7th Addition	1	39	02583100390000	1.00	0	0.18	0.18	1	\$2,892.32
The Wilds 7th Addition	1	40	02583100400000	1.00	0	0.18	0.18	1	\$2,938.27
The Wilds 7th Addition	1	41	02583100410000	1.00	0	0.18	0.18	1	\$2,938.27
The Wilds 7th Addition	1	42	02583100420000	1.00	0	0.18	0.18	1	\$2,938.27
The Wilds 7th Addition	1	43	02583100430000	1.00	0	0.18	0.18	1	\$2,938.27
The Wilds 7th Addition	1	44	02583100440000	1.00	0	0.22	0.22	1	\$3,590.05
The Wilds 7th Addition	1	45	02583100450000	1.00	0	0.23	0.23	1	\$3,704.42
The Wilds 7th Addition	1	46	02583100460000	1.00	0	0.23	0.23	1	\$3,777.61
The Wilds 7th Addition	1	47	02583100470000	1.00	0	0.20	0.20	1	\$3,347.35
The Wilds 7th Addition	1	48	02583100480000	1.00	0	0.18	0.18	1	\$2,938.43
The Wilds 7th Addition	1	49	02583100490000	1.00	0	0.18	0.18	1	\$2,938.27
The Wilds 7th Addition	1	50	02583100500000	1.00	0	0.18	0.18	1	\$2,938.27
The Wilds 7th Addition	1	51	02583100510000	1.00	0	0.20	0.20	1	\$3,207.05
The Wilds 7th Addition	2	1	02583100520000	1.00	0	0.20	0.20	1	\$3,348.50
The Wilds 7th Addition	2	2	02583100530000	1.00	0	0.19	0.19	1	\$3,135.02
The Wilds 7th Addition	2	3	02583100540000	1.00	0	0.19	0.19	1	\$3,135.34
The Wilds 7th Addition	2	4	02583100550000	1.00	0	0.19	0.19	1	\$3,135.34
The Wilds 7th Addition	2	5	02583100560000	1.00	0	0.19	0.19	1	\$3,135.51
The Wilds 7th Addition	2	6	02583100570000	1.00	0	0.19	0.19	1	\$3,135.51
The Wilds 7th Addition	2	7	02583100580000	1.00	0	0.19	0.19	1	\$3,135.51
The Wilds 7th Addition	2	8	02583100590000	1.00	0	0.19	0.19	1	\$3,135.84
The Wilds 7th Addition	2	9	02583100600000	1.00	0	0.20	0.20	1	\$3,280.73
The Wilds 7th Addition	3	1	02583100610000	1.00	0	0.22	0.22	1	\$3,680.46
The Wilds 7th Addition	3	2	02583100620000	1.00	0	0.20	0.20	1	\$3,262.19
The Wilds 7th Addition	3	3	02583100630000	1.00	0	0.20	0.20	1	\$3,300.75
The Wilds 7th Addition	3	4	02583100640000	1.00	0	0.15	0.15	1	\$2,448.45
The Wilds 7th Addition	3	5	02583100650000	1.00	0	0.15	0.15	1	\$2,448.94
The Wilds 7th Addition	3	6	02583100660000	1.00	0	0.15	0.15	1	\$2,448.94
The Wilds 7th Addition	3	7	02583100670000	1.00	0	0.15	0.15	1	\$2,448.94
The Wilds 7th Addition	3	8	02583100680000	1.00	0	0.15	0.15	1	\$2,448.94
The Wilds 7th Addition	3	9	02583100690000	1.00	0	0.15	0.15	1	\$2,449.60
The Wilds 7th Addition	3	10	02583100700000	1.00	0	0.15	0.15	1	\$2,448.78
The Wilds 7th Addition	3	11	02583100710000	1.00	0	0.15	0.15	1	\$2,448.78
The Wilds 7th Addition	3	12	02583100720000	1.00	0	0.17	0.17	1	\$2,746.44
The Wilds 7th Addition	3	13	02583100730000	1.00	0	0.21	0.21	1	\$3,426.94
The Wilds 7th Addition	3	14	02583100740000	1.00	0	0.20	0.20	1	\$3,293.53
The Wilds 7th Addition	3	15	02583100750000	1.00	0	0.19	0.19	1	\$3,056.74
The Wilds 7th Addition	3	16	02583100760000	1.00	0	0.18	0.18	1	\$2,938.27
The Wilds 7th Addition	3	17	02583100770000	1.00	0	0.16	0.16	1	\$2,688.52
The Wilds 7th Addition	3	18	02583100780000	1.00	0	0.21	0.21	1	\$3,398.88

Preliminary Special Assessment Allocations based on Bid Results

Storm Sewer Lift Station (SM73) - The Wilds South
Storm Sewer Imp. Dist. No. 4063

Revised 5/15/19
Moore Proj: 18400

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Assessment
The Wilds 7th Addition	3	19	02583100790000	1.00	0	0.24	0.24	1	\$3,941.37
The Wilds 7th Addition	3	20	02583100800000	1.00	0	0.23	0.23	1	\$3,768.42
The Wilds 7th Addition	3	21	02583100810000	1.00	0	0.25	0.25	1	\$4,052.14
The Wilds 7th Addition	3	22	02583100820000	1.00	0	0.25	0.25	1	\$4,069.86
The Wilds 7th Addition	3	23	02583100830000	1.00	0	0.31	0.31	1	\$5,137.46
The Wilds 7th Addition	3	24	02583100840000	1.00	0	0.31	0.31	1	\$5,078.55
The Wilds 7th Addition	3	25	02583100850000	1.00	0	0.26	0.26	1	\$4,259.88
The Wilds 7th Addition	3	26	02583100860000	1.00	0	0.29	0.29	1	\$4,827.48
The Wilds 8th Addition	1	1	02583200010000	1.00	0	0.17	0.17	1	\$2,796.49
The Wilds 8th Addition	1	2	02583200020000	1.00	0	0.16	0.16	1	\$2,698.20
The Wilds 8th Addition	1	3	02583200030000	1.00	0	0.16	0.16	1	\$2,698.03
The Wilds 8th Addition	1	4	02583200040000	1.00	0	0.16	0.16	1	\$2,697.87
The Wilds 8th Addition	1	5	02583200050000	1.00	0	0.23	0.23	1	\$3,737.41
The Wilds 8th Addition	1	6	02583200060000	1.00	0	0.38	0.38	1	\$6,311.22
The Wilds 8th Addition	1	7	02583200070000	1.00	0	0.33	0.33	1	\$5,495.18
The Wilds 8th Addition	1	8	02583200080000	1.00	0	0.21	0.21	1	\$3,512.10
The Wilds 8th Addition	1	9	02583200090000	1.00	0	0.16	0.16	1	\$2,672.44
The Wilds 8th Addition	1	10	02583200100000	1.00	0	0.16	0.16	1	\$2,671.94
The Wilds 8th Addition	1	11	02583200110000	1.00	0	0.15	0.15	1	\$2,462.89
The Wilds 8th Addition	1	12	02583200120000	1.00	0	0.14	0.14	1	\$2,218.88
The Wilds 8th Addition	1	13	02583200130000	1.00	0	0.13	0.13	1	\$2,158.33
The Wilds 8th Addition	1	14	02583200140000	1.00	0	0.15	0.15	1	\$2,448.45
The Wilds 8th Addition	1	15	02583200150000	1.00	0	0.22	0.22	1	\$3,626.97
The Wilds 8th Addition	1	16	02583200160000	1.00	0	0.12	0.12	1	\$2,037.39
The Wilds 8th Addition	1	17	02583200170000	1.00	0	0.14	0.14	1	\$2,288.95
The Wilds 8th Addition	1	18	02583200180000	1.00	0	0.15	0.15	1	\$2,530.82
The Wilds 8th Addition	1	19	02583200190000	1.00	0	0.17	0.17	1	\$2,742.34
The Wilds 8th Addition	1	20	02583200200000	1.00	0	0.22	0.22	1	\$3,575.12
The Wilds 8th Addition	1	21	02583200210000	1.00	0	0.16	0.16	1	\$2,668.66
The Wilds 8th Addition	1	22	02583200220000	1.00	0	0.21	0.21	1	\$3,452.54
The Wilds 8th Addition	1	23	02583200230000	1.00	0	0.35	0.35	1	\$5,804.83
The Wilds 8th Addition	1	24	02583200240000	1.00	0	0.26	0.26	1	\$4,237.24
The Wilds 8th Addition	1	25	02583200250000	1.00	0	0.23	0.23	1	\$3,723.46
The Wilds 8th Addition	1	26	02583200260000	1.00	0	0.22	0.22	1	\$3,656.18
The Wilds 8th Addition	1	27	02583200270000	0.00	0	0.22	0.00	0	\$0.00
The Wilds 8th Addition	1	28	02583200280000	1.00	0	0.26	0.26	1	\$4,332.25
The Wilds 8th Addition	1	29	02583200290000	1.00	0	0.18	0.18	1	\$2,898.06
The Wilds 8th Addition	1	30	02583200300000	1.00	0	0.16	0.16	1	\$2,632.40
The Wilds 8th Addition	1	31	02583200310000	1.00	0	0.19	0.19	1	\$3,087.43
The Wilds 8th Addition	2	1	02583200320000	1.00	0	0.20	0.20	1	\$3,238.89
The Wilds 8th Addition	2	2	02583200330000	1.00	0	0.16	0.16	1	\$2,679.16
The Wilds 8th Addition	2	3	02583200340000	1.00	0	0.17	0.17	1	\$2,713.62
The Wilds 8th Addition	2	4	02583200350000	1.00	0	0.17	0.17	1	\$2,733.97
The Wilds 8th Addition	2	5	02583200360000	1.00	0	0.17	0.17	1	\$2,733.97
The Wilds 8th Addition	2	6	02583200370000	1.00	0	0.17	0.17	1	\$2,733.97
The Wilds 8th Addition	2	7	02583200380000	1.00	0	0.20	0.20	1	\$3,238.72
The Wilds 8th Addition	3	1	02583200390000	1.00	0	0.17	0.17	1	\$2,748.74
The Wilds 8th Addition	3	2	02583200400000	1.00	0	0.16	0.16	1	\$2,576.11
The Wilds 8th Addition	3	3	02583200410000	1.00	0	0.16	0.16	1	\$2,576.28
The Wilds 8th Addition	3	4	02583200420000	1.00	0	0.16	0.16	1	\$2,576.11
The Wilds 8th Addition	3	5	02583200430000	1.00	0	0.16	0.16	1	\$2,576.11
The Wilds 8th Addition	3	6	02583200440000	1.00	0	0.16	0.16	1	\$2,576.11
The Wilds 8th Addition	3	7	02583200450000	1.00	0	0.16	0.16	1	\$2,576.28
The Wilds 8th Addition	3	8	02583200460000	1.00	0	0.18	0.18	1	\$2,905.28
The Wilds 8th Addition	4	1	02583200470000	1.00	0	0.21	0.21	1	\$3,425.79
The Wilds 8th Addition	4	2	02583200480000	1.00	0	0.16	0.16	1	\$2,546.74
The Wilds 8th Addition	4	3	02583200490000	1.00	0	0.16	0.16	1	\$2,546.90
The Wilds 8th Addition	4	4	02583200500000	1.00	0	0.16	0.16	1	\$2,546.90
The Wilds 8th Addition	4	5	02583200510000	1.00	0	0.16	0.16	1	\$2,546.90
The Wilds 8th Addition	4	6	02583200520000	1.00	0	0.16	0.16	1	\$2,546.90
The Wilds 8th Addition	4	7	02583200530000	1.00	0	0.18	0.18	1	\$2,932.69
The Wilds 8th Addition	4	8	02583200540000	1.00	0	0.19	0.19	1	\$3,076.60
The Wilds 8th Addition	4	9	02583200550000	1.00	0	0.16	0.16	1	\$2,598.43
The Wilds 8th Addition	4	10	02583200560000	1.00	0	0.16	0.16	1	\$2,595.97
The Wilds 8th Addition	4	11	02583200570000	1.00	0	0.16	0.16	1	\$2,595.97
The Wilds 8th Addition	4	12	02583200580000	1.00	0	0.16	0.16	1	\$2,595.97
The Wilds 8th Addition	4	13	02583200590000	1.00	0	0.19	0.19	1	\$3,057.24
The Wilds 8th Addition	5	1	02583200600000	1.00	0	0.16	0.16	1	\$2,560.36
The Wilds 8th Addition	5	2	02583200610000	1.00	0	0.15	0.15	1	\$2,449.43
The Wilds 8th Addition	5	3	02583200620000	1.00	0	0.15	0.15	1	\$2,448.78
The Wilds 8th Addition	5	4	02583200630000	1.00	0	0.15	0.15	1	\$2,448.78
The Wilds 8th Addition	5	5	02583200640000	1.00	0	0.15	0.15	1	\$2,448.78
The Wilds 8th Addition	5	6	02583200650000	1.00	0	0.14	0.14	1	\$2,262.36
The Wilds 8th Addition	5	7	02583200660000	1.00	0	0.13	0.13	1	\$2,078.58
The Wilds 8th Addition	5	8	02583200670000	1.00	0	0.14	0.14	1	\$2,262.20
The Wilds 8th Addition	5	9	02583200680000	1.00	0	0.15	0.15	1	\$2,449.27
The Wilds 8th Addition	5	10	02583200690000	1.00	0	0.15	0.15	1	\$2,448.94
The Wilds 8th Addition	5	11	02583200700000	1.00	0	0.15	0.15	1	\$2,448.78

Preliminary Special Assessment Allocations based on Bid Results

Storm Sewer Lift Station (SM73) - The Wilds South
Storm Sewer Imp. Dist. No. 4063

Revised 5/15/19
Moore Proj: 18400

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Assessment
The Wilds 8th Addition	5	12	02583200710000	1.00	0	0.17	0.17	1	\$2,791.57
The Wilds 8th Addition	5	13	02583200720000	1.00	0	0.17	0.17	1	\$2,866.07
The Wilds 8th Addition	5	14	02583200730000	1.00	0	0.16	0.16	1	\$2,661.11
The Wilds 8th Addition	5	15	02583200740000	1.00	0	0.16	0.16	1	\$2,596.13
The Wilds 8th Addition	5	16	02583200750000	1.00	0	0.18	0.18	1	\$3,001.12
The Wilds 8th Addition	5	17	02583200760000	1.00	0	0.20	0.20	1	\$3,270.56
The Wilds 8th Addition	5	18	02583200770000	1.00	0	0.16	0.16	1	\$2,614.67
The Wilds 8th Addition	5	19	02583200780000	1.00	0	0.16	0.16	1	\$2,595.64
The Wilds 8th Addition	5	20	02583200790000	1.00	0	0.16	0.16	1	\$2,595.64
The Wilds 8th Addition	5	21	02583200800000	1.00	0	0.19	0.19	1	\$3,123.20
The Wilds 9th Addition	1	1	02583300010000	0.00	0	0.07	0.00	0	\$0.00
The Wilds 9th Addition	1	2	02583300020000	1.00	0	0.28	0.28	1	\$4,526.86
The Wilds 9th Addition	1	3	02583300030000	1.00	0	0.24	0.24	1	\$3,902.16
The Wilds 9th Addition	1	4	02583300040000	1.00	0	0.23	0.23	1	\$3,703.77
The Wilds 9th Addition	1	5	02583300050000	1.00	0	0.20	0.20	1	\$3,362.61
The Wilds 9th Addition	1	6	02583300060000	1.00	0	0.19	0.19	1	\$3,187.85
The Wilds 9th Addition	1	7	02583300070000	1.00	0	0.17	0.17	1	\$2,830.79
The Wilds 9th Addition	1	8	02583300080000	1.00	0	0.16	0.16	1	\$2,669.15
The Wilds 9th Addition	1	9	02583300090000	1.00	0	0.19	0.19	1	\$3,108.43
The Wilds 9th Addition	1	10	02583300100000	1.00	0	0.23	0.23	1	\$3,848.66
The Wilds 9th Addition	1	11	02583300110000	1.00	0	0.24	0.24	1	\$4,015.87
The Wilds 9th Addition	1	12	02583300120000	1.00	0	0.23	0.23	1	\$3,727.07
The Wilds 9th Addition	1	13	02583300130000	1.00	0	0.18	0.18	1	\$2,909.55
The Wilds 9th Addition	1	14	02583300140000	1.00	0	0.16	0.16	1	\$2,693.60
The Wilds 9th Addition	1	15	02583300150000	1.00	0	0.16	0.16	1	\$2,543.62
The Wilds 9th Addition	1	16	02583300160000	1.00	0	0.15	0.15	1	\$2,459.28
The Wilds 9th Addition	1	17	02583300170000	1.00	0	0.15	0.15	1	\$2,439.42
The Wilds 9th Addition	1	18	02583300180000	1.00	0	0.17	0.17	1	\$2,711.65
The Wilds 9th Addition	1	19	02583300190000	1.00	0	0.17	0.17	1	\$2,759.73
The Wilds 9th Addition	1	20	02583300200000	1.00	0	0.18	0.18	1	\$2,983.72
The Wilds 9th Addition	1	21	02583300210000	1.00	0	0.21	0.21	1	\$3,524.74
The Wilds 9th Addition	1	22	02583300220000	1.00	0	0.26	0.26	1	\$4,299.10
The Wilds 9th Addition	1	23	02583300230000	1.00	0	0.20	0.20	1	\$3,212.63
The Wilds 9th Addition	1	24	02583300240000	1.00	0	0.28	0.28	1	\$4,603.49
The Wilds 9th Addition	1	25	02583300250000	1.00	0	0.27	0.27	1	\$4,509.47
The Wilds 9th Addition	1	26	02583300260000	1.00	0	0.17	0.17	1	\$2,755.14
The Wilds 9th Addition	1	27	02583300270000	1.00	0	0.16	0.16	1	\$2,581.36
The Wilds 9th Addition	1	28	02583300280000	1.00	0	0.15	0.15	1	\$2,433.68
The Wilds 9th Addition	1	29	02583300290000	1.00	0	0.17	0.17	1	\$2,826.85
The Wilds 9th Addition	1	30	02583300300000	1.00	0	0.24	0.24	1	\$3,918.40
The Wilds 9th Addition	1	31	02583300310000	1.00	0	0.20	0.20	1	\$3,232.98
The Wilds 9th Addition	1	32	02583300320000	1.00	0	0.18	0.18	1	\$2,919.89
The Wilds 9th Addition	1	33	02583300330000	1.00	0	0.16	0.16	1	\$2,605.65
The Wilds 9th Addition	1	34	02583300340000	1.00	0	0.18	0.18	1	\$2,936.95
The Wilds 9th Addition	1	35	02583300350000	1.00	0	0.30	0.30	1	\$4,944.15
The Wilds 9th Addition	1	36	02583300360000	1.00	0	0.24	0.24	1	\$3,957.46
The Wilds 9th Addition	1	37	02583300370000	1.00	0	0.20	0.20	1	\$3,324.22
The Wilds 9th Addition	1	38	02583300380000	1.00	0	0.18	0.18	1	\$2,929.08
The Wilds 9th Addition	1	39	02583300390000	1.00	0	0.17	0.17	1	\$2,726.09
The Wilds 9th Addition	1	40	02583300400000	1.00	0	0.15	0.15	1	\$2,499.97
The Wilds 9th Addition	1	41	02583300410000	1.00	0	0.16	0.16	1	\$2,552.15
The Wilds 9th Addition	1	42	02583300420000	1.00	0	0.16	0.16	1	\$2,551.66
The Wilds 9th Addition	1	43	02583300430000	1.00	0	0.16	0.16	1	\$2,551.17
The Wilds 9th Addition	1	44	02583300440000	1.00	0	0.16	0.16	1	\$2,550.68
The Wilds 9th Addition	1	45	02583300450000	1.00	0	0.16	0.16	1	\$2,550.19
The Wilds 9th Addition	1	46	02583300460000	1.00	0	0.16	0.16	1	\$2,549.69
The Wilds 9th Addition	1	47	02583300470000	1.00	0	0.16	0.16	1	\$2,549.20
The Wilds 9th Addition	1	48	02583300480000	1.00	0	0.16	0.16	1	\$2,548.71
The Wilds 9th Addition	1	49	02583300490000	1.00	0	0.16	0.16	1	\$2,548.22
The Wilds 9th Addition	1	50	02583300500000	1.00	0	0.16	0.16	1	\$2,547.72
The Wilds 9th Addition	1	51	02583300510000	1.00	0	0.16	0.16	1	\$2,672.76
The Wilds 9th Addition	2	1	02583300520000	1.00	0	0.19	0.19	1	\$3,134.85
The Wilds 9th Addition	2	2	02583300530000	1.00	0	0.16	0.16	1	\$2,634.69
The Wilds 9th Addition	2	3	02583300540000	1.00	0	0.16	0.16	1	\$2,628.95
The Wilds 9th Addition	2	4	02583300550000	1.00	0	0.16	0.16	1	\$2,629.11
The Wilds 9th Addition	2	5	02583300560000	1.00	0	0.16	0.16	1	\$2,629.44
The Wilds 9th Addition	2	6	02583300570000	1.00	0	0.16	0.16	1	\$2,629.44
The Wilds 9th Addition	2	7	02583300580000	1.00	0	0.16	0.16	1	\$2,629.11
The Wilds 9th Addition	2	8	02583300590000	1.00	0	0.16	0.16	1	\$2,629.11
The Wilds 9th Addition	2	9	02583300600000	1.00	0	0.16	0.16	1	\$2,629.44
The Wilds 9th Addition	2	10	02583300610000	1.00	0	0.16	0.16	1	\$2,629.44
The Wilds 9th Addition	2	11	02583300620000	1.00	0	0.16	0.16	1	\$2,632.40
The Wilds 9th Addition	2	12	02583300630000	1.00	0	0.18	0.18	1	\$3,021.79
The Wilds 9th Addition	2	13	02583300640000	1.00	0	0.19	0.19	1	\$3,157.50
The Wilds 9th Addition	2	14	02583300650000	1.00	0	0.16	0.16	1	\$2,691.14
The Wilds 9th Addition	2	15	02583300660000	1.00	0	0.16	0.16	1	\$2,685.73
The Wilds 9th Addition	2	16	02583300670000	1.00	0	0.16	0.16	1	\$2,678.01
The Wilds 9th Addition	2	17	02583300680000	1.00	0	0.16	0.16	1	\$2,692.29

Preliminary Special Assessment Allocations based on Bid Results

Storm Sewer Lift Station (SM73) - The Wilds South
Storm Sewer Imp. Dist. No. 4063

Revised 5/15/19
Moore Proj: 18400

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Assessment
The Wilds 9th Addition	2	18	02583300690000	1.00	0	0.16	0.16	1	\$2,685.73
The Wilds 9th Addition	2	19	02583300700000	1.00	0	0.16	0.16	1	\$2,679.16
The Wilds 9th Addition	2	20	02583300710000	1.00	0	0.16	0.16	1	\$2,691.14
The Wilds 9th Addition	2	21	02583300720000	1.00	0	0.18	0.18	1	\$2,968.13
The Wilds 9th Addition	3	1	02583300730000	1.00	0	0.18	0.18	1	\$2,981.59
The Wilds 9th Addition	3	2	02583300740000	1.00	0	0.17	0.17	1	\$2,742.83
The Wilds 9th Addition	3	3	02583300750000	1.00	0	0.19	0.19	1	\$3,050.21
The Wilds 9th Addition	3	4	02583300760000	1.00	0	0.17	0.17	1	\$2,746.96
The Wilds 9th Addition	3	5	02583300770000	1.00	0	0.15	0.15	1	\$2,448.60
The Wilds 9th Addition	3	6	02583300780000	1.00	0	0.15	0.15	1	\$2,448.60
The Wilds 9th Addition	3	7	02583300790000	1.00	0	0.15	0.15	1	\$2,448.60
The Wilds 9th Addition	3	8	02583300800000	1.00	0	0.15	0.15	1	\$2,448.60
The Wilds 9th Addition	3	9	02583300810000	1.00	0	0.15	0.15	1	\$2,448.60
The Wilds 9th Addition	3	10	02583300820000	1.00	0	0.15	0.15	1	\$2,448.60
The Wilds 9th Addition	3	11	02583300830000	1.00	0	0.15	0.15	1	\$2,448.60
The Wilds 9th Addition	3	12	02583300840000	1.00	0	0.15	0.15	1	\$2,448.60
The Wilds 9th Addition	3	13	02583300850000	1.00	0	0.16	0.16	1	\$2,591.37
The Wilds 9th Addition	3	14	02583300860000	1.00	0	0.16	0.16	1	\$2,698.36
The Wilds 9th Addition	3	15	02583300870000	1.00	0	0.16	0.16	1	\$2,703.63
The Wilds 9th Addition	3	16	02583300880000	1.00	0	0.16	0.16	1	\$2,671.61
The Wilds 9th Addition	3	17	02583300890000	1.00	0	0.16	0.16	1	\$2,678.77
The Wilds 9th Addition	3	18	02583300900000	1.00	0	0.17	0.17	1	\$2,711.54
The Wilds 9th Addition	3	19	02583300910000	1.00	0	0.16	0.16	1	\$2,707.02
The Wilds 9th Addition	3	20	02583300920000	1.00	0	0.16	0.16	1	\$2,664.08
The Wilds 9th Addition	3	21	02583300930000	1.00	0	0.16	0.16	1	\$2,670.86
The Wilds 9th Addition	3	22	02583300940000	1.00	0	0.17	0.17	1	\$2,709.28
The Wilds 9th Addition	3	23	02583300950000	1.00	0	0.17	0.17	1	\$2,708.91
The Wilds 9th Addition	3	24	02583300960000	1.00	0	0.16	0.16	1	\$2,670.48
The Wilds 9th Addition	3	25	02583300970000	1.00	0	0.16	0.16	1	\$2,688.94
The Wilds 9th Addition	3	26	02583300980000	1.00	0	0.17	0.17	1	\$2,841.51
The Wilds 9th Addition	3	27	02583300990000	1.00	0	0.16	0.16	1	\$2,571.41
The Wilds 9th Addition	3	28	02583301000000	1.00	0	0.15	0.15	1	\$2,399.25
The Wilds 9th Addition	3	29	02583301010000	0.00	0	0.18	0.00	0	\$0.00
The Wilds 9th Addition	3	30	02583301020000	1.00	0	0.17	0.17	1	\$2,787.26
The Wilds 9th Addition	3	31	02583301030000	1.00	0	0.17	0.17	1	\$2,784.63
The Wilds 9th Addition	3	32	02583301040000	1.00	0	0.19	0.19	1	\$3,134.96
The Wilds 9th Addition	3	33	02583301050000	1.00	0	0.23	0.23	1	\$3,745.12
The Wilds 9th Addition	3	34	02583301060000	1.00	0	0.15	0.15	1	\$2,531.64
The Wilds 9th Addition	3	35	02583301070000	1.00	0	0.16	0.16	1	\$2,571.85
The Wilds 9th Addition	3	36	02583301080000	1.00	0	0.16	0.16	1	\$2,552.32
The Wilds 9th Addition	3	37	02583301090000	1.00	0	0.15	0.15	1	\$2,448.12
The Wilds 9th Addition	3	38	02583301100000	1.00	0	0.15	0.15	1	\$2,448.45
The Wilds 9th Addition	3	39	02583301110000	1.00	0	0.15	0.15	1	\$2,448.45
The Wilds 9th Addition	3	40	02583301120000	1.00	0	0.15	0.15	1	\$2,448.45
The Wilds 9th Addition	3	41	02583301130000	1.00	0	0.14	0.14	1	\$2,359.18
The Wilds 9th Addition	3	42	02583301140000	0.00	0	4.82	0.00	0	\$0.00
The Wilds 9th Addition	4	1	02583301150000	1.00	0	0.14	0.14	1	\$2,365.42
The Wilds 9th Addition	4	2	02583301160000	1.00	0	0.16	0.16	1	\$2,693.44
The Wilds 9th Addition	4	3	02583301170000	1.00	0	0.16	0.16	1	\$2,693.44
The Wilds 9th Addition	4	4	02583301180000	1.00	0	0.16	0.16	1	\$2,693.44
The Wilds 9th Addition	4	5	02583301190000	1.00	0	0.16	0.16	1	\$2,584.15
The Wilds 9th Addition	4	6	02583301200000	1.00	0	0.17	0.17	1	\$2,717.56
The Wilds 9th Addition	4	7	02583301210000	1.00	0	0.16	0.16	1	\$2,704.43
The Wilds 9th Addition	4	8	02583301220000	1.00	0	0.17	0.17	1	\$2,795.34
The Wilds 9th Addition	4	9	02583301230000	1.00	0	0.17	0.17	1	\$2,796.65
The Wilds 9th Addition	4	10	02583301240000	1.00	0	0.16	0.16	1	\$2,707.39
The Wilds 9th Addition	4	11	02583301250000	1.00	0	0.19	0.19	1	\$3,171.88
The Wilds 9th Addition	4	12	02583301260000	1.00	0	0.16	0.16	1	\$2,672.74
The Wilds 9th Addition	4	13	02583301270000	1.00	0	0.16	0.16	1	\$2,571.03
The Wilds 9th Addition	4	14	02583301280000	1.00	0	0.18	0.18	1	\$2,994.08
The Wilds 9th Addition	4	15	02583301290000	1.00	0	0.18	0.18	1	\$2,936.95
The Wilds 9th Addition	4	16	02583301300000	1.00	0	0.18	0.18	1	\$2,968.46
The Wilds 9th Addition	4	17	02583301310000	1.00	0	0.24	0.24	1	\$3,973.52
The Wilds 9th Addition	4	18	02583301320000	1.00	0	0.15	0.15	1	\$2,458.02
The Wilds 9th Addition	4	19	02583301330000	1.00	0	0.15	0.15	1	\$2,477.61
The Wilds 9th Addition	4	20	02583301340000	1.00	0	0.15	0.15	1	\$2,497.20
The Wilds 9th Addition	4	21	02583301350000	1.00	0	0.15	0.15	1	\$2,516.79
The Wilds 9th Addition	4	22	02583301360000	1.00	0	0.16	0.16	1	\$2,608.70
The Wilds 9th Addition	4	23	02583301370000	1.00	0	0.16	0.16	1	\$2,577.44
The Wilds 9th Addition	4	24	02583301380000	1.00	0	0.16	0.16	1	\$2,591.00
The Wilds 9th Addition	4	25	02583301390000	1.00	0	0.16	0.16	1	\$2,672.37
The Wilds 9th Addition	4	26	02583301400000	1.00	0	0.16	0.16	1	\$2,683.67
The Wilds 9th Addition	4	27	02583301410000	1.00	0	0.16	0.16	1	\$2,671.61
The Wilds 9th Addition	4	28	02583301420000	1.00	0	0.16	0.16	1	\$2,684.42
The Wilds 9th Addition	4	29	02583301430000	1.00	0	0.19	0.19	1	\$3,098.80
The Wilds 9th Addition	4	30	02583301440000	1.00	0	0.26	0.26	1	\$4,246.25
The Wilds 9th Addition	4	31	02583301450000	0.00	0	1.36	0.00	0	\$0.00
The Wilds 9th Addition	4	32	02583301460000	1.00	0	6.03	6.03	26	\$98,948.70

Preliminary Special Assessment Allocations based on Bid Results

Storm Sewer Lift Station (SM73) - The Wilds South
Storm Sewer Imp. Dist. No. 4063

Revised 5/15/19
Moore Proj: 18400

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Assessment
The Wilds 11th Addition Preliminary Plat	1	1	TBD	1.00	50	0.15	0.15	1	\$2,383.06
The Wilds 11th Addition Preliminary Plat	1	2	TBD	1.00	45	0.13	0.13	1	\$2,195.08
The Wilds 11th Addition Preliminary Plat	1	3	TBD	1.00	40	0.12	0.12	1	\$1,958.88
The Wilds 11th Addition Preliminary Plat	1	4	TBD	1.00	40	0.12	0.12	1	\$1,958.88
The Wilds 11th Addition Preliminary Plat	1	5	TBD	1.00	40	0.12	0.12	1	\$1,958.88
The Wilds 11th Addition Preliminary Plat	1	6	TBD	1.00	40	0.12	0.12	1	\$1,958.88
The Wilds 11th Addition Preliminary Plat	1	7	TBD	1.00	40	0.12	0.12	1	\$1,958.88
The Wilds 11th Addition Preliminary Plat	1	8	TBD	1.00	50	0.21	0.21	1	\$3,518.83
The Wilds 11th Addition Preliminary Plat	1	9	TBD	1.00	38	0.24	0.24	1	\$3,891.39
The Wilds 11th Addition Preliminary Plat	1	10	TBD	1.00	38	0.26	0.26	1	\$4,340.05
The Wilds 11th Addition Preliminary Plat	1	11	TBD	1.00	47	0.22	0.22	1	\$3,646.16
The Wilds 11th Addition Preliminary Plat	1	12	TBD	1.00	52	0.16	0.16	1	\$2,671.99
The Wilds 11th Addition Preliminary Plat	1	13	TBD	1.00	51	0.16	0.16	1	\$2,668.60
The Wilds 11th Addition Preliminary Plat	1	14	TBD	0.00	0	0.16	0.00	0	\$0.00
The Wilds 11th Addition Preliminary Plat	1	15	TBD	1.00	46	0.14	0.14	1	\$2,303.57
The Wilds 11th Addition Preliminary Plat	1	16	TBD	1.00	36	0.11	0.11	1	\$1,756.59
The Wilds 11th Addition Preliminary Plat	1	17	TBD	1.00	36	0.11	0.11	1	\$1,728.71
The Wilds 11th Addition Preliminary Plat	1	18	TBD	1.00	51	0.15	0.15	1	\$2,418.47
The Wilds 11th Addition Preliminary Plat	1	19	TBD	1.00	36	0.10	0.10	1	\$1,697.82
The Wilds 11th Addition Preliminary Plat	1	20	TBD	1.00	36	0.10	0.10	1	\$1,699.71
The Wilds 11th Addition Preliminary Plat	1	21	TBD	1.00	63	0.17	0.17	1	\$2,843.39
The Wilds 11th Addition Preliminary Plat	1	22	TBD	1.00	38	0.10	0.10	1	\$1,559.57
The Wilds 11th Addition Preliminary Plat	1	23	TBD	1.00	53	0.21	0.21	1	\$3,435.95
The Wilds 11th Addition Preliminary Plat	1	24	TBD	1.00	49	0.32	0.32	1	\$5,284.08
The Wilds 11th Addition Preliminary Plat	1	25	TBD	1.00	55	0.25	0.25	1	\$4,035.30
The Wilds 11th Addition Preliminary Plat	1	26	TBD	1.00	38	0.13	0.13	1	\$2,126.89
The Wilds 11th Addition Preliminary Plat	1	27	TBD	1.00	38	0.13	0.13	1	\$2,059.46
The Wilds 11th Addition Preliminary Plat	1	28	TBD	1.00	39	0.16	0.16	1	\$2,581.96
The Wilds 11th Addition Preliminary Plat	1	29	TBD	1.00	46	0.21	0.21	1	\$3,499.14
The Wilds 11th Addition Preliminary Plat	1	30	TBD	1.00	46	0.17	0.17	1	\$2,723.47
The Wilds 11th Addition Preliminary Plat	1	31	TBD	1.00	36	0.11	0.11	1	\$1,871.33
The Wilds 11th Addition Preliminary Plat	1	32	TBD	1.00	46	0.15	0.15	1	\$2,395.94
The Wilds 11th Addition Preliminary Plat	1	33	TBD	1.00	36	0.15	0.15	1	\$2,523.77
The Wilds 11th Addition Preliminary Plat	1	34	TBD	1.00	36	0.12	0.12	1	\$1,913.01
The Wilds 11th Addition Preliminary Plat	1	35	TBD	0.00	0	0.29	0.00	0	\$0.00
The Wilds 11th Addition Preliminary Plat	1	36	TBD	1.00	50	0.14	0.14	1	\$2,230.87
The Wilds 11th Addition Preliminary Plat	1	37	TBD	1.00	36	0.10	0.10	1	\$1,573.13
The Wilds 11th Addition Preliminary Plat	1	38	TBD	1.00	46	0.15	0.15	1	\$2,427.13
The Wilds 11th Addition Preliminary Plat	1	39	TBD	1.00	36	0.13	0.13	1	\$2,114.02
The Wilds 11th Addition Preliminary Plat	1	40	TBD	1.00	36	0.11	0.11	1	\$1,859.02
The Wilds 11th Addition Preliminary Plat	1	41	TBD	1.00	51	0.17	0.17	1	\$2,710.18
The Wilds 11th Addition Preliminary Plat	1	42	TBD	1.00	36	0.13	0.13	1	\$2,122.56
The Wilds 11th Addition Preliminary Plat	1	43	TBD	1.00	48	0.24	0.24	1	\$3,878.21
The Wilds 11th Addition Preliminary Plat	1	44	TBD	1.00	60	0.18	0.18	1	\$2,984.38
The Wilds 11th Addition Preliminary Plat	1	45	TBD	1.00	56	0.19	0.19	1	\$3,094.32
The Wilds 11th Addition Preliminary Plat	1	46	TBD	1.00	55	0.18	0.18	1	\$2,993.90
The Wilds 11th Addition Preliminary Plat	1	47	TBD	1.00	55	0.18	0.18	1	\$2,993.73
The Wilds 11th Addition Preliminary Plat	1	48	TBD	1.00	55	0.18	0.18	1	\$3,027.04
The Wilds 11th Addition Preliminary Plat	1	49	TBD	1.00	55	0.22	0.22	1	\$3,535.24
The Wilds 11th Addition Preliminary Plat	1	50	TBD	0.00	0	0.34	0.00	0	\$0.00
The Wilds 11th Addition Preliminary Plat	1	51	TBD	0.00	0	0.95	0.00	0	\$0.00
The Wilds 11th Addition Preliminary Plat	1	52	TBD	1.00	242	2.61	2.61	11	\$42,873.90
The Wilds 11th Addition Preliminary Plat	1	53	TBD	1.00	60	0.18	0.18	1	\$2,999.73
The Wilds 11th Addition Preliminary Plat	1	54	TBD	1.00	60	0.18	0.18	1	\$2,990.69
The Wilds 11th Addition Preliminary Plat	1	55	TBD	1.00	60	0.18	0.18	1	\$2,990.69
The Wilds 11th Addition Preliminary Plat	1	56	TBD	1.00	55	0.17	0.17	1	\$2,741.30
The Wilds 11th Addition Preliminary Plat	1	57	TBD	0.00	0	0.09	0.00	0	\$0.00
The Wilds 11th Addition Preliminary Plat	1	58	TBD	1.00	55	0.18	0.18	1	\$2,885.96
The Wilds 11th Addition Preliminary Plat	1	59	TBD	1.00	62	0.25	0.25	1	\$4,057.90
The Wilds 11th Addition Preliminary Plat	1	60	TBD	1.00	62	0.28	0.28	1	\$4,581.52
The Wilds 11th Addition Preliminary Plat	1	61	TBD	1.00	75	0.17	0.17	1	\$2,854.69
The Wilds 11th Addition Preliminary Plat	1	62	TBD	1.00	75	0.20	0.20	1	\$3,278.11
The Wilds 11th Addition Preliminary Plat	1	63	TBD	1.00	72	0.19	0.19	1	\$3,129.31
The Wilds 11th Addition Preliminary Plat	2	1	TBD	1.00	51	0.17	0.17	1	\$2,826.44
The Wilds 11th Addition Preliminary Plat	2	2	TBD	1.00	50	0.15	0.15	1	\$2,497.95
The Wilds 11th Addition Preliminary Plat	2	3	TBD	1.00	50	0.15	0.15	1	\$2,459.53
The Wilds 11th Addition Preliminary Plat	2	4	TBD	1.00	50	0.15	0.15	1	\$2,455.01
The Wilds 11th Addition Preliminary Plat	2	5	TBD	1.00	50	0.15	0.15	1	\$2,455.01
The Wilds 11th Addition Preliminary Plat	2	6	TBD	1.00	50	0.15	0.15	1	\$2,454.63
The Wilds 11th Addition Preliminary Plat	2	7	TBD	1.00	50	0.15	0.15	1	\$2,454.63
The Wilds 11th Addition Preliminary Plat	2	8	TBD	1.00	50	0.15	0.15	1	\$2,454.25
The Wilds 11th Addition Preliminary Plat	2	9	TBD	1.00	50	0.15	0.15	1	\$2,454.25
The Wilds 11th Addition Preliminary Plat	2	10	TBD	1.00	50	0.15	0.15	1	\$2,453.88
The Wilds 11th Addition Preliminary Plat	2	11	TBD	1.00	50	0.15	0.15	1	\$2,453.88
The Wilds 11th Addition Preliminary Plat	2	12	TBD	1.00	50	0.15	0.15	1	\$2,453.50
The Wilds 11th Addition Preliminary Plat	2	13	TBD	1.00	50	0.15	0.15	1	\$2,453.50
The Wilds 11th Addition Preliminary Plat	2	14	TBD	1.00	53	0.16	0.16	1	\$2,600.42
The Wilds 11th Addition Preliminary Plat	3	1	TBD	1.00	60	0.23	0.23	1	\$3,716.60

Preliminary Special Assessment Allocations based on Bid Results

Storm Sewer Lift Station (SM73) - The Wilds South
Storm Sewer Imp. Dist. No. 4063

Revised 5/15/19
Moore Proj: 18400

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Assessment
The Wilds 11th Addition Preliminary Plat	3	2	TBD	1.00	50	0.17	0.17	1	\$2,844.90
The Wilds 11th Addition Preliminary Plat	3	3	TBD	1.00	50	0.16	0.16	1	\$2,661.82
The Wilds 11th Addition Preliminary Plat	3	4	TBD	1.00	55	0.17	0.17	1	\$2,719.46
The Wilds 11th Addition Preliminary Plat	3	5	TBD	1.00	55	0.16	0.16	1	\$2,678.02
The Wilds 11th Addition Preliminary Plat	3	6	TBD	1.00	55	0.18	0.18	1	\$3,032.88
The Wilds 11th Addition Preliminary Plat	3	7	TBD	1.00	59	0.20	0.20	1	\$3,315.03
The Wilds 11th Addition Preliminary Plat	3	8	TBD	1.00	59	0.21	0.21	1	\$3,452.15
The Wilds 11th Addition Preliminary Plat	3	9	TBD	1.00	69	0.21	0.21	1	\$3,440.85
The Wilds 11th Addition Preliminary Plat	3	10	TBD	1.00	60	0.22	0.22	1	\$3,547.08
The Wilds 11th Addition Preliminary Plat	3	11	TBD	1.00	51	0.17	0.17	1	\$2,837.74
The Wilds 11th Addition Preliminary Plat	3	12	TBD	1.00	51	0.16	0.16	1	\$2,675.00
The Wilds 11th Addition Preliminary Plat	3	13	TBD	1.00	51	0.15	0.15	1	\$2,525.83
The Wilds 11th Addition Preliminary Plat	3	14	TBD	1.00	51	0.15	0.15	1	\$2,498.33
The Wilds 11th Addition Preliminary Plat	3	15	TBD	1.00	51	0.16	0.16	1	\$2,546.92
The Wilds 11th Addition Preliminary Plat	3	16	TBD	1.00	53	0.16	0.16	1	\$2,595.14
The Wilds 11th Addition Preliminary Plat	3	17	TBD	1.00	54	0.16	0.16	1	\$2,598.53
The Wilds 11th Addition Preliminary Plat	3	18	TBD	1.00	57	0.17	0.17	1	\$2,815.14
The Wilds 11th Addition Preliminary Plat	3	19	TBD	1.00	91	0.23	0.23	1	\$3,728.66
The Wilds 11th Addition Preliminary Plat	4	1	TBD	1.00	52	0.17	0.17	1	\$2,845.65
The Wilds 11th Addition Preliminary Plat	4	2	TBD	1.00	50	0.17	0.17	1	\$2,711.17
The Wilds 11th Addition Preliminary Plat	4	3	TBD	1.00	50	0.16	0.16	1	\$2,636.20
The Wilds 11th Addition Preliminary Plat	4	4	TBD	1.00	50	0.16	0.16	1	\$2,558.98
The Wilds 11th Addition Preliminary Plat	4	5	TBD	1.00	50	0.15	0.15	1	\$2,481.38
The Wilds 11th Addition Preliminary Plat	4	6	TBD	1.00	52	0.15	0.15	1	\$2,428.26
The Wilds 11th Addition Preliminary Plat	4	7	TBD	1.00	60	0.15	0.15	1	\$2,496.82
The Wilds 11th Addition Preliminary Plat	4	8	TBD	1.00	60	0.15	0.15	1	\$2,477.99
The Wilds 11th Addition Preliminary Plat	4	9	TBD	1.00	52	0.21	0.21	1	\$3,497.36
The Wilds 11th Addition Preliminary Plat	4	10	TBD	1.00	50	0.14	0.14	1	\$2,354.43
The Wilds 11th Addition Preliminary Plat	4	11	TBD	1.00	50	0.14	0.14	1	\$2,354.43
The Wilds 11th Addition Preliminary Plat	4	12	TBD	1.00	50	0.14	0.14	1	\$2,354.43
The Wilds 11th Addition Preliminary Plat	4	13	TBD	1.00	50	0.14	0.14	1	\$2,354.43
The Wilds 11th Addition Preliminary Plat	4	14	TBD	1.00	50	0.14	0.14	1	\$2,354.43
The Wilds 11th Addition Preliminary Plat	4	15	TBD	1.00	50	0.14	0.14	1	\$2,354.43
The Wilds 11th Addition Preliminary Plat	4	16	TBD	1.00	86	0.21	0.21	1	\$3,431.06
The Wilds 11th Addition Preliminary Plat	5	1	TBD	1.00	55	0.22	0.22	1	\$3,550.47
The Wilds 11th Addition Preliminary Plat	5	2	TBD	1.00	53	0.22	0.22	1	\$3,607.73
The Wilds 11th Addition Preliminary Plat	5	3	TBD	1.00	53	0.21	0.21	1	\$3,395.11
The Wilds 11th Addition Preliminary Plat	5	4	TBD	1.00	53	0.19	0.19	1	\$3,136.66
The Wilds 11th Addition Preliminary Plat	5	5	TBD	1.00	51	0.18	0.18	1	\$2,981.42
The Wilds 11th Addition Preliminary Plat	5	6	TBD	1.00	55	0.17	0.17	1	\$2,788.45
The Wilds 11th Addition Preliminary Plat	5	7	TBD	1.00	55	0.17	0.17	1	\$2,788.29
The Wilds 11th Addition Preliminary Plat	5	8	TBD	1.00	55	0.17	0.17	1	\$2,858.68
The Wilds 11th Addition Preliminary Plat	5	9	TBD	1.00	57	0.16	0.16	1	\$2,677.64
The Wilds 11th Addition Preliminary Plat	5	10	TBD	1.00	51	0.18	0.18	1	\$2,955.65
The Wilds 11th Addition Preliminary Plat	5	11	TBD	1.00	54	0.18	0.18	1	\$3,010.80
The Wilds 11th Addition Preliminary Plat	5	12	TBD	1.00	50	0.14	0.14	1	\$2,285.01
The Wilds 11th Addition Preliminary Plat	5	13	TBD	1.00	50	0.14	0.14	1	\$2,285.01
The Wilds 11th Addition Preliminary Plat	5	14	TBD	1.00	50	0.14	0.14	1	\$2,285.01
The Wilds 11th Addition Preliminary Plat	5	15	TBD	1.00	57	0.17	0.17	1	\$2,810.93
The Wilds 11th Addition Preliminary Plat	5	16	TBD	0.00	0	0.27	0.00	0	\$0.00
The Wilds 11th Addition Preliminary Plat	5	17	TBD	1.00	62	0.17	0.17	1	\$2,867.50
The Wilds 11th Addition Preliminary Plat	5	18	TBD	1.00	50	0.16	0.16	1	\$2,609.83
The Wilds 11th Addition Preliminary Plat	5	19	TBD	1.00	50	0.17	0.17	1	\$2,821.43
The Wilds 11th Addition Preliminary Plat	5	20	TBD	1.00	50	0.16	0.16	1	\$2,694.92
The Wilds 11th Addition Preliminary Plat	5	21	TBD	1.00	50	0.16	0.16	1	\$2,689.17
The Wilds 11th Addition Preliminary Plat	5	22	TBD	1.00	50	0.16	0.16	1	\$2,652.42
The Wilds 11th Addition Preliminary Plat	5	23	TBD	1.00	50	0.14	0.14	1	\$2,345.07
The Wilds 11th Addition Preliminary Plat	5	24	TBD	1.00	50	0.14	0.14	1	\$2,345.07
The Wilds 11th Addition Preliminary Plat	5	25	TBD	1.00	50	0.14	0.14	1	\$2,345.07
The Wilds 11th Addition Preliminary Plat	5	26	TBD	1.00	50	0.14	0.14	1	\$2,345.07
The Wilds 11th Addition Preliminary Plat	5	27	TBD	1.00	50	0.14	0.14	1	\$2,345.07
The Wilds 11th Addition Preliminary Plat	5	28	TBD	1.00	50	0.14	0.14	1	\$2,355.41
The Wilds 11th Addition Preliminary Plat	5	29	TBD	1.00	49	0.21	0.21	1	\$3,466.81
The Wilds 11th Addition Preliminary Plat	5	30	TBD	1.00	49	0.24	0.24	1	\$4,005.91
The Wilds 11th Addition Preliminary Plat	5	31	TBD	1.00	61	0.23	0.23	1	\$3,815.68
The Wilds 11th Addition Preliminary Plat	5	32	TBD	0.00	0	0.39	0.00	0	\$0.00
The Wilds 11th Addition Preliminary Plat	5	33	TBD	0.00	0	1.27	0.00	0	\$0.00
The Wilds 11th Addition Preliminary Plat	6	1	TBD	1.00	81	0.18	0.18	1	\$2,986.54
The Wilds 11th Addition Preliminary Plat	6	2	TBD	1.00	72	0.18	0.18	1	\$2,908.56
The Wilds 11th Addition Preliminary Plat	6	3	TBD	1.00	72	0.17	0.17	1	\$2,841.13
The Wilds 11th Addition Preliminary Plat	6	4	TBD	1.00	50	0.15	0.15	1	\$2,448.60
The Wilds 11th Addition Preliminary Plat	6	5	TBD	1.00	50	0.15	0.15	1	\$2,448.60
The Wilds 11th Addition Preliminary Plat	6	6	TBD	1.00	50	0.15	0.15	1	\$2,448.60
The Wilds 11th Addition Preliminary Plat	6	7	TBD	1.00	50	0.15	0.15	1	\$2,448.60
The Wilds 11th Addition Preliminary Plat	6	8	TBD	1.00	50	0.17	0.17	1	\$2,825.69
The Wilds 11th Addition Preliminary Plat	6	9	TBD	1.00	50	0.21	0.21	1	\$3,430.30
The Wilds 11th Addition Preliminary Plat	6	10	TBD	1.00	53	0.25	0.25	1	\$4,040.95
The Wilds 11th Addition Preliminary Plat	6	11	TBD	1.00	50	0.18	0.18	1	\$2,944.73

Preliminary Special Assessment Allocations based on Bid Results

Storm Sewer Lift Station (SM73) - The Wilds South
Storm Sewer Imp. Dist. No. 4063

Revised 5/15/19
Moore Proj: 18400

Division	Block	Lot	GIS PIN	Area Factor	Front Footage	Assessable Area (Acres)	Factored Assessable Area (Acres)	Equivalent Units	Total Assessment
The Wilds 11th Addition Preliminary Plat	6	12	TBD	1.00	50	0.17	0.17	1	\$2,742.81
The Wilds 11th Addition Preliminary Plat	6	13	TBD	1.00	50	0.16	0.16	1	\$2,581.58
The Wilds 11th Addition Preliminary Plat	6	14	TBD	1.00	50	0.15	0.15	1	\$2,459.53
The Wilds 11th Addition Preliminary Plat	6	15	TBD	1.00	50	0.14	0.14	1	\$2,374.77
The Wilds 11th Addition Preliminary Plat	6	16	TBD	1.00	50	0.14	0.14	1	\$2,327.30
The Wilds 11th Addition Preliminary Plat	6	17	TBD	1.00	57	0.16	0.16	1	\$2,621.89
The Wilds 11th Addition Preliminary Plat	6	18	TBD	1.00	57	0.17	0.17	1	\$2,791.41
The Wilds 11th Addition Preliminary Plat	6	19	TBD	1.00	50	0.15	0.15	1	\$2,448.60
The Wilds 11th Addition Preliminary Plat	6	20	TBD	1.00	50	0.15	0.15	1	\$2,448.60
The Wilds 11th Addition Preliminary Plat	6	21	TBD	1.00	50	0.15	0.15	1	\$2,448.60
The Wilds 11th Addition Preliminary Plat	6	22	TBD	1.00	50	0.15	0.15	1	\$2,448.60
The Wilds 11th Addition Preliminary Plat	6	23	TBD	1.00	50	0.15	0.15	1	\$2,448.60
The Wilds 11th Addition Preliminary Plat	6	24	TBD	1.00	49	0.15	0.15	1	\$2,439.94
The Wilds 11th Addition Preliminary Plat	6	25	TBD	1.00	51	0.19	0.19	1	\$3,073.94
The Wilds 11th Addition Preliminary Plat	6	26	TBD	1.00	50	0.21	0.21	1	\$3,374.55
The Wilds 11th Addition Preliminary Plat	6	27	TBD	1.00	51	0.16	0.16	1	\$2,555.59
The Wilds 11th Addition Preliminary Plat	6	28	TBD	1.00	49	0.16	0.16	1	\$2,643.36
The Wilds 11th Addition Preliminary Plat	6	29	TBD	1.00	67	0.17	0.17	1	\$2,852.06
The Wilds 11th Addition Preliminary Plat	6	30	TBD	1.00	79	0.18	0.18	1	\$2,946.99
The Wilds 11th Addition Preliminary Plat	7	1	TBD	1.00	65	0.19	0.19	1	\$3,064.90
The Wilds 11th Addition Preliminary Plat	7	2	TBD	1.00	57	0.17	0.17	1	\$2,720.96
The Wilds 11th Addition Preliminary Plat	7	3	TBD	1.00	57	0.17	0.17	1	\$2,720.59
The Wilds 11th Addition Preliminary Plat	7	4	TBD	1.00	57	0.17	0.17	1	\$2,720.59
The Wilds 11th Addition Preliminary Plat	7	5	TBD	1.00	57	0.17	0.17	1	\$2,720.59
The Wilds 11th Addition Preliminary Plat	7	6	TBD	1.00	52	0.18	0.18	1	\$3,034.76
The Wilds 11th Addition Preliminary Plat	7	7	TBD	1.00	51	0.29	0.29	1	\$4,819.98
The Wilds 11th Addition Preliminary Plat	7	8	TBD	1.00	51	0.38	0.38	1	\$6,171.61
The Wilds 11th Addition Preliminary Plat	7	9	TBD	1.00	52	0.23	0.23	1	\$3,697.77
The Wilds 11th Addition Preliminary Plat	7	10	TBD	1.00	54	0.16	0.16	1	\$2,609.08
The Wilds 11th Addition Preliminary Plat	7	11	TBD	1.00	53	0.16	0.16	1	\$2,645.62
The Wilds 11th Addition Preliminary Plat	7	12	TBD	1.00	54	0.15	0.15	1	\$2,542.78
The Wilds 11th Addition Preliminary Plat	7	13	TBD	1.00	60	0.17	0.17	1	\$2,825.31
Unplatted	n/a	n/a	02300002005000	0.75	0	6.62	4.96	22	\$81,425.79
Unplatted	n/a	n/a	02300002016000	0.75	0	9.76	7.32	32	\$120,118.92
Unplatted	n/a	n/a	02300002017000	0.75	0	28.57	21.43	93	\$351,616.42
Unplatted	n/a	n/a	02300002031000	0.75	491.95	70.99	53.24	231	\$873,659.53

Construction Dollars with Contingencies	
Storm Sewer Lift Station	\$2,455,508.00
Total	\$2,455,508.00
Based on Assessment Total	
Storm Sewer Lift Station	\$2,985,390.00
Land Acquisition	\$0.00
Hookup Fee	\$0.00
Total Assessment	\$2,985,390.00

	10,051.95	221.34	181.93	900	\$2,985,390.00
Engineering, admin., legal, etc. = 21.58%					
Storm Sewer Lift Station Cost per SF				\$0.38	
Land Acquisition Cost per SF				\$0.00	
Hookup Fee Cost per SF				\$0.00	



AGENDA ITEM REQUEST
BOARD OF CITY COMMISSIONERS
WEST FARGO, NORTH DAKOTA

OFFICE USE: AGENDA ITEM # _____
--

** "Consent" or "Regular" Agenda Item? **Regular** **

1. CONTACT PERSON(s):
 - Dustin T. Scott, City Engineer (433-5425)
2. DATE OF MEETING: **May 20, 2019**
3. DESCRIPTION OF REQUEST:
 - Review "Amendment No. 1" to the Owner-Engineer Agreement with KLJ (effective date January 21, 2019) for construction inspection, survey and management services provided on Segment 3 of the Sheyenne Street Reconstruction project.
4. LOCATION (address; legal; etc.):
 - Sheyenne Street – 32nd Ave to 40th Ave
5. ACTION(S) REQUESTED:
 1. Approve Amendment No. 1 to the Owner-Engineer Agreement for Segment 3 construction services for the amount of \$1,256,078, which brings the total contract fee to \$1,406,078 (original budget was estimated to be \$1,500,000).

ADDITIONAL INFORMATION:

The original agreement (which is also provided in this packet) was approved by the city commission on January 21, 2019. The estimated budget provided in the original agreement was \$1,500,000 for construction services with an initial phase cost of \$150,000. The proposed Amendment No. 1 further defines the scope of work for construction services and brings the total fee to \$1,406,078 (which is still under the original estimated budget of \$1,500,000).

This is **EXHIBIT K**, consisting of 2 pages, referred to in and part of the **Agreement between Owner and Engineer for Professional Services** dated 1/21/19.

AMENDMENT TO OWNER-ENGINEER AGREEMENT
Amendment No. 1 – Construction Administration, Inspection, and Surveying

The Effective Date of this Amendment is: 4/15/2019.

Background Data

Effective Date of Owner-Engineer Agreement: 1/21/19

Owner: City of West Fargo

Engineer: Kadrmas, Lee & Jackson, Inc.

Project: Construction Inspection, survey and management for Sheyenne Street Reconstruction:

- SU-8-992(040)041 Sheyenne Street Segment #3 – 40th Avenue to 32nd Avenue

Nature of Amendment: [Check those that are applicable and delete those that are inapplicable.]

- Additional Services to be performed by Engineer
- Modifications to services of Engineer
- Modifications to responsibilities of Owner
- Modifications of payment to Engineer
- Modifications to time(s) for rendering services
- Modifications to other terms and conditions of the Agreement

Description of Modifications:

Amendment #1:

- ***Construction Administration, Inspection, and Surveying. Please refer to the Attachment A for additional details.***

Agreement Summary:

Original agreement amount:	\$ 150,000.00
Net change for prior amendments:	\$ 0.00
This amendment amount:	\$ 1,256,078.00
Adjusted Agreement amount:	\$ 1,406,078.00

A fee summary is provided in the attached Appendix A

Change in time for services (days or date, as applicable): Completion date for the work described in this amendment is 12/1/2020

The foregoing Agreement Summary is for reference only and does not alter the terms of the Agreement, including those set forth in Exhibit C.

Owner and Engineer hereby agree to modify the above-referenced Agreement as set forth in this Amendment. All provisions of the Agreement not modified by this or previous Amendments remain in effect.

OWNER:
City of West Fargo

ENGINEER:
Kadrmas, Lee & Jackson, Inc.

By: _____

By: _____



Print
name
:

Print
name:

Mark Anderson

Title: _____

Title: Vice President, EPW

Date Signed: _____

Date Signed: April 9, 2019

**AGREEMENT
BETWEEN OWNER AND ENGINEER
FOR PROFESSIONAL SERVICES**

CONSTRUCTION INSPECTION, SURVEY AND MANAGEMENT FOR THE
RECONSTRUCTION OF SHEYENNE STREET
WEST FARGO, ND
Segment 3

Prepared by



Issued and Published Jointly by



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National Society of Professional Engineers
1420 King Street, Alexandria, VA 22314-2794
(703) 684-2882

www.nspe.org

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**AGREEMENT
BETWEEN OWNER AND ENGINEER
FOR PROFESSIONAL SERVICES**

THIS IS AN AGREEMENT effective as of January 21, 2019 (“Effective Date”) between City of West Fargo, 810 12th Avenue Northwest, West Fargo, ND 58078 (“Owner”) and Kadmas, Lee & Jackson, Inc., 4585 Coleman Street, Bismarck, ND 58503 (“Engineer”).

Owner's Project, of which Engineer's services under this Agreement are a part, is generally identified as follows:

Construction Inspection, survey and management (Material testing is not covered under this contract)

- SU-8-992(040)041 Sheyenne Street Segment #3 Project Start up and Scoping Phase – Sheyenne St. from 40th Ave. S. to 32nd Ave. S.

("Project")

KLJ Project Number: 1904-00120

Other terms used in this Agreement are defined in Article 7.

Engineer's services under this Agreement are generally identified as follows:

Project Start up and Scoping Phase – Attend preconstruction meeting, review shop drawings and conduct initial staking as requested by the contractor. Identify and develop and scope and fee for the remainder of construction inspection. The majority of the contract will be reviewed and negotiated based on the contractor's schedule, operations, and FHWA, NDDOT, and the City of West Fargo's requirements for inspection and survey services. This will be issued as an addendum following the Project Start up and Scoping Phase.

Owner and Engineer further agree as follows:

ARTICLE 1 – SERVICES OF ENGINEER

1.01 Scope

- A. Engineer shall provide, or cause to be provided, the services set forth herein and in Exhibit A.

ARTICLE 2 – OWNER'S RESPONSIBILITIES

2.01 General

- A. Owner shall have the responsibilities set forth herein and in Exhibit B.
- B. Owner shall pay Engineer as set forth in Article 4 and Exhibit C.
- C. Owner shall be responsible for all requirements and instructions that it furnishes to Engineer pursuant to this Agreement, and for the accuracy and completeness of all programs, reports, data, and other information furnished by Owner to Engineer pursuant to this Agreement. Engineer may use and rely upon such requirements, programs, instructions,

reports, data, and information in performing or furnishing services under this Agreement, subject to any express limitations or reservations applicable to the furnished items.

- D. Owner shall give prompt written notice to Engineer whenever Owner observes or otherwise becomes aware of:
1. any development that affects the scope or time of performance of Engineer's services;
 2. the presence at the Site of any Constituent of Concern; or
 3. any relevant, material defect or nonconformance in: (a) Engineer's services, (b) the Work, (c) the performance of any Constructor, or (d) Owner's performance of its responsibilities under this Agreement.

ARTICLE 3 – SCHEDULE FOR RENDERING SERVICES

3.01 Commencement

- A. Engineer is authorized to begin rendering services as of the Effective Date.

3.02 Time for Completion

- A. Engineer shall complete its obligations within a reasonable time. Specific periods of time for rendering services, or specific dates by which services are to be completed, are provided in Exhibit A, and are hereby agreed to be reasonable.
- B. If, through no fault of Engineer, such periods of time or dates are changed, or the orderly and continuous progress of Engineer's services is impaired, or Engineer's services are delayed or suspended, then the time for completion of Engineer's services, and the rates and amounts of Engineer's compensation, shall be adjusted equitably.
- C. If Owner authorizes changes in the scope, extent, or character of the Project or Engineer's services, then the time for completion of Engineer's services, and the rates and amounts of Engineer's compensation, shall be adjusted equitably.
- D. Owner shall make decisions and carry out its other responsibilities in a timely manner so as not to delay the Engineer's performance of its services.
- E. If Engineer fails, through its own fault, to complete the performance required in this Agreement within the time set forth, as duly adjusted, then Owner shall be entitled, as its sole remedy, to the recovery of direct damages, if any, resulting from such failure.

ARTICLE 4 – INVOICES AND PAYMENTS

4.01 Invoices

- A. *Preparation and Submittal of Invoices:* Engineer shall prepare invoices in accordance with its standard invoicing practices and the terms of Exhibit C. Engineer shall submit its invoices to Owner on a monthly basis. Invoices are due and payable within 30 days of receipt.

4.02 *Payments*

- A. *Application to Interest and Principal:* Payment will be credited first to any interest owed to Engineer and then to principal.
- B. *Failure to Pay:* If Owner fails to make any payment due Engineer for services and expenses within 30 days after receipt of Engineer's invoice, then:
 - 1. amounts due Engineer will be increased at the rate of 1.0% per month (or the maximum rate of interest permitted by law, if less) from said thirtieth day; and
 - 2. Engineer may, after giving seven days written notice to Owner, suspend services under this Agreement until Owner has paid in full all amounts due for services, expenses, and other related charges. Owner waives any and all claims against Engineer for any such suspension.
- C. *Disputed Invoices:* If Owner disputes an invoice, either as to amount or entitlement, then Owner shall promptly advise Engineer in writing of the specific basis for doing so, may withhold only that portion so disputed, and must pay the undisputed portion subject to the terms of Paragraph 4.01.
- D. *Sales or Use Taxes:* If after the Effective Date any governmental entity takes a legislative action that imposes additional sales or use taxes on Engineer's services or compensation under this Agreement, then Engineer may invoice such additional sales or use taxes for reimbursement by Owner. Owner shall reimburse Engineer for the cost of such invoiced additional sales or use taxes; such reimbursement shall be in addition to the compensation to which Engineer is entitled under the terms of Exhibit C.

ARTICLE 5 – OPINIONS OF COST

5.01 *Opinions of Probable Construction Cost*

- A. Engineer's opinions (if any) of probable Construction Cost are to be made on the basis of Engineer's experience, qualifications, and general familiarity with the construction industry. However, because Engineer has no control over the cost of labor, materials, equipment, or services furnished by others, or over contractors' methods of determining prices, or over competitive bidding or market conditions, Engineer cannot and does not guarantee that proposals, bids, or actual Construction Cost will not vary from opinions of probable Construction Cost prepared by Engineer. If Owner requires greater assurance as to probable Construction Cost, then Owner agrees to obtain an independent cost estimate.

5.02 *Designing to Construction Cost Limit*

- A. If a Construction Cost limit is established between Owner and Engineer, such Construction Cost limit and a statement of Engineer's rights and responsibilities with respect thereto will be specifically set forth in Exhibit F to this Agreement.

5.03 *Opinions of Total Project Costs*

- A. The services, if any, of Engineer with respect to Total Project Costs shall be limited to assisting the Owner in tabulating the various categories that comprise Total Project Costs. Engineer assumes no responsibility for the accuracy of any opinions of Total Project Costs.

ARTICLE 6 – GENERAL CONSIDERATIONS

6.01 *Standards of Performance*

- A. *Standard of Care:* The standard of care for all professional engineering and related services performed or furnished by Engineer under this Agreement will be the care and skill ordinarily used by members of the subject profession practicing under similar circumstances at the same time and in the same locality. Engineer makes no warranties, express or implied, under this Agreement or otherwise, in connection with any services performed or furnished by Engineer.
- B. *Technical Accuracy:* Owner shall not be responsible for discovering deficiencies in the technical accuracy of Engineer's services. Engineer shall correct deficiencies in technical accuracy without additional compensation, unless such corrective action is directly attributable to deficiencies in Owner-furnished information.
- C. *Consultants:* Engineer may retain such Consultants as Engineer deems necessary to assist in the performance or furnishing of the services, subject to reasonable, timely, and substantive objections by Owner.
- D. *Reliance on Others:* Subject to the standard of care set forth in Paragraph 6.01.A, Engineer and its Consultants may use or rely upon design elements and information ordinarily or customarily furnished by others, including, but not limited to, specialty contractors, manufacturers, suppliers, and the publishers of technical standards.
- E. *Compliance with Laws and Regulations, and Policies and Procedures:*
 - 1. Engineer and Owner shall comply with applicable Laws and Regulations.
 - 2. Engineer shall comply with any and all policies, procedures, and instructions of Owner that are applicable to Engineer's performance of services under this Agreement and that Owner provides to Engineer in writing, subject to the standard of care set forth in Paragraph 6.01.A, and to the extent compliance is not inconsistent with professional practice requirements.
 - 3. This Agreement is based on Laws and Regulations and Owner-provided written policies and procedures as of the Effective Date. The following may be the basis for modifications to Owner's responsibilities or to Engineer's scope of services, times of performance, or compensation:
 - a. changes after the Effective Date to Laws and Regulations;
 - b. the receipt by Engineer after the Effective Date of Owner-provided written policies and procedures;

- c. changes after the Effective Date to Owner-provided written policies or procedures.
- F. Engineer shall not be required to sign any document, no matter by whom requested, that would result in the Engineer having to certify, guarantee, or warrant the existence of conditions whose existence the Engineer cannot ascertain. Owner agrees not to make resolution of any dispute with the Engineer or payment of any amount due to the Engineer in any way contingent upon the Engineer signing any such document.
- G. ~~The general conditions for any construction contract documents prepared hereunder are to be EJCDC® C-700 “Standard General Conditions of the Construction Contract” (2013 Edition), prepared by the Engineers Joint Contract Documents Committee, unless expressly indicated otherwise in Exhibit J or elsewhere in this Agreement.~~
- H. Engineer shall not at any time supervise, direct, control, or have authority over any Constructor’s work, nor shall Engineer have authority over or be responsible for the means, methods, techniques, sequences, or procedures of construction selected or used by any Constructor, or the safety precautions and programs incident thereto, for security or safety at the Site, nor for any failure of a Constructor to comply with Laws and Regulations applicable to that Constructor’s furnishing and performing of its work. Engineer shall not be responsible for the acts or omissions of any Constructor.
- I. Engineer neither guarantees the performance of any Constructor nor assumes responsibility for any Constructor’s, failure to furnish and perform the Work in accordance with the Construction Contract Documents.
- J. Engineer shall not be responsible for any decision made regarding the Construction Contract Documents, or any application, interpretation, clarification, or modification of the Construction Contract Documents, other than those made by Engineer or its Consultants.
- K. Engineer is not required to provide and does not have any responsibility for surety bonding or insurance-related advice, recommendations, counseling, or research, or enforcement of construction insurance or surety bonding requirements.
- L. Engineer’s services do not include providing legal advice or representation.
- M. Engineer’s services do not include (1) serving as a “municipal advisor” for purposes of the registration requirements of Section 975 of the Dodd-Frank Wall Street Reform and Consumer Protection Act (2010) or the municipal advisor registration rules issued by the Securities and Exchange Commission, or (2) advising Owner, or any municipal entity or other person or entity, regarding municipal financial products or the issuance of municipal securities, including advice with respect to the structure, timing, terms, or other similar matters concerning such products or issuances.
- N. While at the Site, Engineer, its Consultants, and their employees and representatives shall comply with the applicable requirements of Contractor's and Owner's safety programs of which Engineer has been informed in writing.

6.02 *Design without Construction Phase Services*

- A. ~~Engineer shall be responsible only for those Construction Phase services expressly required of Engineer in Exhibit A, Paragraph A1.05. With the exception of such expressly required services, Engineer shall have no design, Shop Drawing review, or other obligations during construction, and Owner assumes all responsibility for the application and interpretation of the Construction Contract Documents, review and response to Contractor claims, Construction Contract administration, processing of Change Orders and submittals, revisions to the Construction Contract Documents during construction, construction observation and review, review of Contractor's payment applications, and all other necessary Construction Phase administrative, engineering, and professional services. Owner waives all claims against the Engineer that may be connected in any way to Construction Phase administrative, engineering, or professional services except for those services that are expressly required of Engineer in Exhibit A.~~

6.03 *Use of Documents*

- A. All Documents are instruments of service, and Engineer shall retain an ownership and property interest therein (including the copyright and the right of reuse at the discretion of the Engineer) whether or not the Project is completed.
- B. If Engineer is required to prepare or furnish Drawings or Specifications under this Agreement, Engineer shall deliver to Owner at least one original printed record version of such Drawings and Specifications, signed and sealed according to applicable Laws and Regulations.
- C. Owner may make and retain copies of Documents for information and reference in connection with the use of the Documents on the Project. Engineer grants Owner a limited license to use the Documents on the Project, extensions of the Project, and for related uses of the Owner, subject to receipt by Engineer of full payment due and owing for all services relating to preparation of the Documents, and subject to the following limitations:
(1) Owner acknowledges that such Documents are not intended or represented to be suitable for use on the Project unless completed by Engineer, or for use or reuse by Owner or others on extensions of the Project, on any other project, or for any other use or purpose, without written verification or adaptation by Engineer; (2) any such use or reuse, or any modification of the Documents, without written verification, completion, or adaptation by Engineer, as appropriate for the specific purpose intended, will be at Owner's sole risk and without liability or legal exposure to Engineer or to its officers, directors, members, partners, agents, employees, and Consultants; (3) Owner shall indemnify and hold harmless Engineer and its officers, directors, members, partners, agents, employees, and Consultants from all claims, damages, losses, and expenses, including attorneys' fees, arising out of or resulting from any use, reuse, or modification of the Documents without written verification, completion, or adaptation by Engineer; and (4) such limited license to Owner shall not create any rights in third parties.
- D. If Engineer at Owner's request verifies the suitability of the Documents, completes them, or adapts them for extensions of the Project or for any other purpose, then Owner shall compensate Engineer at rates or in an amount to be agreed upon by Owner and Engineer.

- E. CONFIDENTIALITY: Engineer acknowledges that Owner is a governmental entity subject to the public records laws of (“North Dakota” or “the State where the project is located” etc.). Engineer shall not use or disclose any information it receives from Owner under this Agreement or any Task Order that Owner has previously identified as confidential or exempt from mandatory public disclosure except as necessary to carry out the purposes of this Agreement or as authorized in advance by Owner. Owner shall not disclose any information it receives from Engineer that Engineer has previously identified as confidential and that Owner determines in its sole discretion is protected from mandatory public disclosure under a specific exception to the (“North Dakota public records law, N.D.C.C. ch. 44-04” or “applicable public records law” etc). The duty of Owner and Engineer to maintain confidentiality of information under this section continues beyond the term of this Agreement.

- F. COMPLIANCE WITH PUBLIC RECORDS LAWS: Engineer understands that, in accordance with this Agreement’s Confidentiality clause, Owner must disclose to the public upon request any records it receives from Engineer. Engineer further understands that any records obtained or generated by Engineer under this Agreement, except for records that are confidential under this Agreement, may, under certain circumstances, be open to the public upon request under the (“North Dakota public records law” or “public records law”). Engineer agrees to contact Owner promptly upon receiving a request for information under the public records law and to comply with Owner’s instructions on how to respond to the request.

6.04 *Electronic Transmittals*

- A. Owner and Engineer may transmit, and shall accept, Project-related correspondence, Documents, text, data, drawings, information, and graphics, in electronic media or digital format, either directly, or through access to a secure Project website, in accordance with a mutually agreeable protocol.
- B. If this Agreement does not establish protocols for electronic or digital transmittals, then Owner and Engineer shall jointly develop such protocols.
- C. When transmitting items in electronic media or digital format, the transmitting party makes no representations as to long term compatibility, usability, or readability of the items resulting from the recipient’s use of software application packages, operating systems, or computer hardware differing from those used in the drafting or transmittal of the items, or from those established in applicable transmittal protocols.

6.05 *Insurance*

- A. Engineer shall procure and maintain insurance as set forth in Exhibit G. Engineer shall cause Owner to be listed as an additional insured on any applicable general liability insurance policy carried by Engineer.
- B. Owner shall procure and maintain insurance as set forth in Exhibit G. Owner shall cause Engineer and its Consultants to be listed as additional insureds on any general liability policies carried by Owner, which are applicable to the Project.
- C. Owner shall require Contractor to purchase and maintain policies of insurance covering

workers' compensation, general liability, motor vehicle damage and injuries, and other insurance necessary to protect Owner's and Engineer's interests in the Project. Owner shall require Contractor to cause Engineer and its Consultants to be listed as additional insureds with respect to such liability insurance purchased and maintained by Contractor for the Project.

- D. Owner and Engineer shall each deliver to the other certificates of insurance evidencing the coverages indicated in Exhibit G. Such certificates shall be furnished prior to commencement of Engineer's services and at renewals thereafter during the life of the Agreement.
- E. All policies of property insurance relating to the Project, including but not limited to any builder's risk policy, shall allow for waiver of subrogation rights and contain provisions to the effect that in the event of payment of any loss or damage the insurers will have no rights of recovery against any insured thereunder or against Engineer or its Consultants. Owner and Engineer waive all rights against each other, Contractor, the Consultants, and the respective officers, directors, members, partners, employees, agents, consultants, and subcontractors of each and any of them, for all losses and damages caused by, arising out of, or resulting from any of the perils or causes of loss covered by any builder's risk policy and any other property insurance relating to the Project. Owner and Engineer shall take appropriate measures in other Project-related contracts to secure waivers of rights consistent with those set forth in this paragraph.
- F. All policies of insurance shall contain a provision or endorsement that the coverage afforded will not be canceled or reduced in limits by endorsement, and that renewal will not be refused, until at least 10 days prior written notice has been given to the primary insured. Upon receipt of such notice, the receiving party shall promptly forward a copy of the notice to the other party to this Agreement.
- G. At any time, Owner may request that Engineer or its Consultants, at Owner's sole expense, provide additional insurance coverage, increased limits, or revised deductibles that are more protective than those specified in Exhibit G. If so requested by Owner, and if commercially available, Engineer shall obtain and shall require its Consultants to obtain such additional insurance coverage, different limits, or revised deductibles for such periods of time as requested by Owner, and Exhibit G will be supplemented to incorporate these requirements.

6.06 *Suspension and Termination*

A. *Suspension:*

- 1. *By Owner:* Owner may suspend the Project for up to 90 days upon seven days written notice to Engineer.
- 2. *By Engineer:* Engineer may, after giving seven days written notice to Owner, suspend services under this Agreement if Owner has failed to pay Engineer for invoiced services and expenses, as set forth in Paragraph 4.02.B, or in response to the presence of Constituents of Concern at the Site, as set forth in Paragraph 6.10.D.

B. *Termination:* The obligation to provide further services under this Agreement may be

terminated:

1. For cause,
 - a. by either party upon 30 days written notice in the event of substantial failure by the other party to perform in accordance with the terms hereof through no fault of the terminating party.
 - b. by Engineer:
 - 1) upon seven days written notice if Owner demands that Engineer furnish or perform services contrary to Engineer's responsibilities as a licensed professional; or
 - 2) upon seven days written notice if the Engineer's services for the Project are delayed or suspended for more than 90 days for reasons beyond Engineer's control, or as the result of the presence at the Site of undisclosed Constituents of Concern, as set forth in Paragraph 6.10.D.
 - 3) Engineer shall have no liability to Owner on account of such termination.
 - c. Notwithstanding the foregoing, this Agreement will not terminate under Paragraph 6.06.B.1.a if the party receiving such notice begins, within seven days of receipt of such notice, to correct its substantial failure to perform and proceeds diligently to cure such failure within no more than 30 days of receipt thereof; provided, however, that if and to the extent such substantial failure cannot be reasonably cured within such 30 day period, and if such party has diligently attempted to cure the same and thereafter continues diligently to cure the same, then the cure period provided for herein shall extend up to, but in no case more than, 60 days after the date of receipt of the notice.
 2. For convenience, by Owner effective upon Engineer's receipt of notice from Owner.
- C. *Effective Date of Termination:* The terminating party under Paragraph 6.06.B may set the effective date of termination at a time up to 30 days later than otherwise provided to allow Engineer to demobilize personnel and equipment from the Site, to complete tasks whose value would otherwise be lost, to prepare notes as to the status of completed and uncompleted tasks, and to assemble Project materials in orderly files.
- D. *Payments Upon Termination:*
1. In the event of any termination under Paragraph 6.06, Engineer will be entitled to invoice Owner and to receive full payment for all services performed or furnished in accordance with this Agreement and all Reimbursable Expenses incurred through the effective date of termination. Upon making such payment, Owner shall have the limited right to the use of Documents, at Owner's sole risk, subject to the provisions of Paragraph 6.03.
 2. In the event of termination by Owner for convenience or by Engineer for cause, Engineer shall be entitled, in addition to invoicing for those items identified in Paragraph 6.06.D.1, to invoice Owner and receive payment of a reasonable amount for services and expenses directly attributable to termination, both before and after the effective date of

termination, such as reassignment of personnel, costs of terminating contracts with Engineer's Consultants, and other related close-out costs, using methods and rates for Additional Services as set forth in Exhibit C.

6.07 *Controlling Law*

- A. This Agreement is to be governed by the Laws and Regulations of the state in which the Project is located.

6.08 *Successors, Assigns, and Beneficiaries*

- A. Owner and Engineer are hereby bound and the successors, executors, administrators, and legal representatives of Owner and Engineer (and to the extent permitted by Paragraph 6.08.B the assigns of Owner and Engineer) are hereby bound to the other party to this Agreement and to the successors, executors, administrators and legal representatives (and said assigns) of such other party, in respect of all covenants, agreements, and obligations of this Agreement.
- B. Neither Owner nor Engineer may assign, sublet, or transfer any rights under or interest (including, but without limitation, money that is due or may become due) in this Agreement without the written consent of the other party, except to the extent that any assignment, subletting, or transfer is mandated by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Agreement.
- C. Unless expressly provided otherwise in this Agreement:
 - 1. Nothing in this Agreement shall be construed to create, impose, or give rise to any duty owed by Owner or Engineer to any Constructor, other third-party individual or entity, or to any surety for or employee of any of them.
 - 2. All duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of Owner and Engineer and not for the benefit of any other party.
 - 3. Owner agrees that the substance of the provisions of this Paragraph 6.08.C shall appear in the Construction Contract Documents.

6.09 *Dispute Resolution*

- A. Owner and Engineer agree to negotiate all disputes between them in good faith for a period of 30 days from the date of notice prior to invoking the procedures of Exhibit H or other provisions of this Agreement, or exercising their rights at law.
- B. If the parties fail to resolve a dispute through negotiation under Paragraph 6.09.A, then either or both may invoke the procedures of Exhibit H. If Exhibit H is not included, or if no dispute resolution method is specified in Exhibit H, then the parties may exercise their rights at law.

6.10 *Environmental Condition of Site*

- A. Owner represents to Engineer that as of the Effective Date to the best of Owner's

knowledge no Constituents of Concern, other than those disclosed in writing to Engineer, exist at or adjacent to the Site.

- B. If Engineer encounters or learns of an undisclosed Constituent of Concern at the Site, then Engineer shall notify (1) Owner and (2) appropriate governmental officials if Engineer reasonably concludes that doing so is required by applicable Laws or Regulations.
- C. It is acknowledged by both parties that Engineer's scope of services does not include any services related to unknown or undisclosed Constituents of Concern. If Engineer or any other party encounters, uncovers, or reveals an undisclosed Constituent of Concern, then Owner shall promptly determine whether to retain a qualified expert to evaluate such condition or take any necessary corrective action.
- D. If investigative or remedial action, or other professional services, are necessary with respect to undisclosed Constituents of Concern, or if investigative or remedial action beyond that reasonably contemplated is needed to address a disclosed or known Constituent of Concern, then Engineer may, at its option and without liability for consequential or any other damages, suspend performance of services on the portion of the Project affected thereby until such portion of the Project is no longer affected.
- E. If the presence at the Site of undisclosed Constituents of Concern adversely affects the performance of Engineer's services under this Agreement, then the Engineer shall have the option of (1) accepting an equitable adjustment in its compensation or in the time of completion, or both; or (2) terminating this Agreement for cause on seven days notice.
- F. Owner acknowledges that Engineer is performing professional services for Owner and that Engineer is not and shall not be required to become an "owner," "arranger," "operator," "generator," or "transporter" of hazardous substances, as defined in the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA), as amended, which are or may be encountered at or near the Site in connection with Engineer's activities under this Agreement.

6.11 *Indemnification and Mutual Waiver*

- A. *Indemnification by Engineer:* To the fullest extent permitted by Laws and Regulations, Engineer shall indemnify and hold harmless Owner, and Owner's officers, directors, members, partners, agents, consultants, and employees, from losses, damages, and judgments (including reasonable consultants' and attorneys' fees and expenses) arising from third-party claims or actions relating to the Project, provided that any such claim, action, loss, damages, or judgment is attributable to bodily injury, sickness, disease, or death, or to injury to or destruction of tangible property (other than the Work itself), including the loss of use resulting therefrom, but only to the extent caused by any negligent act or omission of Engineer or Engineer's officers, directors, members, partners, agents, employees, or Consultants. **This indemnification provision is subject to and limited by the provisions, if any, agreed to by Owner and Engineer in Exhibit I, "Limitations of Liability."**
- B. *Indemnification by Owner:* Owner shall indemnify and hold harmless Engineer and its officers, directors, members, partners, agents, employees, and Consultants as required by Laws and Regulations **and to the extent (if any) required in Exhibit I, "Limitations of Liability."**

- C. *Environmental Indemnification*: To the fullest extent permitted by Laws and Regulations, Owner shall indemnify and hold harmless Engineer and its officers, directors, members, partners, agents, employees, and Consultants from all claims, costs, losses, damages, actions, and judgments (including reasonable consultants' and attorneys fees and expenses) caused by, arising out of, relating to, or resulting from a Constituent of Concern at, on, or under the Site, provided that (1) any such claim, cost, loss, damages, action, or judgment is attributable to bodily injury, sickness, disease, or death, or to injury to or destruction of tangible property (other than the Work itself), including the loss of use resulting therefrom, and (2) nothing in this paragraph shall obligate Owner to indemnify any individual or entity from and against the consequences of that individual's or entity's own negligence or willful misconduct.
- D. *No Defense Obligation*: The indemnification commitments in this Agreement do not include a defense obligation by the indemnitor unless such obligation is expressly stated.
- E. *Percentage Share of Negligence*: To the fullest extent permitted by Laws and Regulations, a party's total liability to the other party and anyone claiming by, through, or under the other party for any cost, loss, or damages caused in part by the negligence of the party and in part by the negligence of the other party or any other negligent entity or individual, shall not exceed the percentage share that the party's negligence bears to the total negligence of Owner, Engineer, and all other negligent entities and individuals.
- F. *Mutual Waiver*: To the fullest extent permitted by Laws and Regulations, Owner and Engineer waive against each other, and the other's employees, officers, directors, members, agents, insurers, partners, and consultants, any and all claims for or entitlement to special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to this Agreement or the Project, from any cause or causes.

6.12 Records Retention

- A. Engineer shall maintain on file in legible form, for a period of five years following completion or termination of its services, all Documents, records (including cost records), and design calculations related to Engineer's services or pertinent to Engineer's performance under this Agreement. Upon Owner's request, Engineer shall provide a copy of any such item to Owner at cost.

6.13 Miscellaneous Provisions

- A. *Notices*: Any notice required under this Agreement will be in writing, addressed to the appropriate party at its address on the signature page and given personally, by registered or certified mail postage prepaid, or by a commercial courier service. All notices shall be effective upon the date of receipt.
- B. *Survival*: All express representations, waivers, indemnifications, and limitations of liability included in this Agreement will survive its completion or termination for any reason.
- C. *Severability*: Any provision or part of the Agreement held to be void or unenforceable under any Laws or Regulations shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon Owner and Engineer, which agree that the Agreement shall be reformed to replace such stricken provision or part thereof with a valid and

enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

- D. *Waiver*: A party's non-enforcement of any provision shall not constitute a waiver of that provision, nor shall it affect the enforceability of that provision or of the remainder of this Agreement.
- E. *Accrual of Claims*: To the fullest extent permitted by Laws and Regulations, all causes of action arising under this Agreement shall be deemed to have accrued, and all statutory periods of limitation shall commence, no later than the date of Substantial Completion.

ARTICLE 7 – DEFINITIONS

7.01 Defined Terms

- A. Wherever used in this Agreement (including the Exhibits hereto) terms (including the singular and plural forms) printed with initial capital letters have the meanings indicated in the text above, in the exhibits, or in the following definitions:
 - 1. *Addenda*—Written or graphic instruments issued prior to the opening of bids which clarify, correct, or change the bidding requirements or the proposed Construction Contract Documents.
 - 2. *Additional Services*—The services to be performed for or furnished to Owner by Engineer in accordance with Part 2 of Exhibit A of this Agreement.
 - 3. *Agreement*—This written contract for professional services between Owner and Engineer, including all exhibits identified in Paragraph 8.01 and any duly executed amendments.
 - 4. *Application for Payment*—The form acceptable to Engineer which is to be used by Contractor during the course of the Work in requesting progress or final payments and which is to be accompanied by such supporting documentation as is required by the Construction Contract.
 - 5. *Basic Services*—The services to be performed for or furnished to Owner by Engineer in accordance with Part 1 of Exhibit A of this Agreement.
 - 6. *Change Order*—A document which is signed by Contractor and Owner and authorizes an addition, deletion, or revision in the Work or an adjustment in the Construction Contract Price or the Construction Contract Times, or other revision to the Construction Contract, issued on or after the effective date of the Construction Contract.
 - 7. *Change Proposal*—A written request by Contractor, duly submitted in compliance with the procedural requirements set forth in the Construction Contract, seeking an adjustment in Construction Contract Price or Construction Contract Times, or both; contesting an initial decision by Engineer concerning the requirements of the Construction Contract Documents or the acceptability of Work under the Construction Contract Documents; challenging a set-off against payments due; or seeking other relief with respect to the terms of the Construction Contract.
 - 8. *Constituent of Concern*—Asbestos, petroleum, radioactive material, polychlorinated biphenyls

(PCBs), hazardous waste, and any substance, product, waste, or other material of any nature whatsoever that is or becomes listed, regulated, or addressed pursuant to (a) the Comprehensive Environmental Response, Compensation and Liability Act, 42 U.S.C. §§9601 et seq. (“CERCLA”); (b) the Hazardous Materials Transportation Act, 49 U.S.C. §§5501 et seq.; (c) the Resource Conservation and Recovery Act, 42 U.S.C. §§6901 et seq. (“RCRA”); (d) the Toxic Substances Control Act, 15 U.S.C. §§2601 et seq.; (e) the Clean Water Act, 33 U.S.C. §§1251 et seq.; (f) the Clean Air Act, 42 U.S.C. §§7401 et seq.; or (g) any other federal, State, or local statute, law, rule, regulation, ordinance, resolution, code, order, or decree regulating, relating to, or imposing liability or standards of conduct concerning, any hazardous, toxic, or dangerous waste, substance, or material.

9. *Construction Contract*—The entire and integrated written contract between the Owner and Contractor concerning the Work.
10. *Construction Contract Documents*—Those items designated as “Contract Documents” in the Construction Contract, and which together comprise the Construction Contract.
11. *Construction Contract Price*—The money that Owner has agreed to pay Contractor for completion of the Work in accordance with the Construction Contract Documents.
12. *Construction Contract Times*—The number of days or the dates by which Contractor shall:
 - (a) achieve milestones, if any, in the Construction Contract; (b) achieve Substantial Completion; and (c) complete the Work.
13. *Construction Cost*—The cost to Owner of the construction of those portions of the entire Project designed or specified by or for Engineer under this Agreement, including construction labor, services, materials, equipment, insurance, and bonding costs, and allowances for contingencies. Construction Cost does not include costs of services of Engineer or other design professionals and consultants; cost of land or rights-of-way, or compensation for damages to property; Owner’s costs for legal, accounting, insurance counseling, or auditing services; interest or financing charges incurred in connection with the Project; or the cost of other services to be provided by others to Owner. Construction Cost is one of the items comprising Total Project Costs.
14. *Contractor*—Any person or entity (not including the Engineer, its employees, agents, representatives, and Consultants), performing or supporting construction activities relating to the Project, including but not limited to Contractors, Subcontractors, Suppliers, Owner’s work forces, utility companies, other contractors, construction managers, testing firms, shippers, and truckers, and the employees, agents, and representatives of any or all of them.
15. *Consultants*—Individuals or entities having a contract with Engineer to furnish services with respect to this Project as Engineer’s independent professional associates and consultants; subcontractors; or vendors.
16. *Contractor*—The entity or individual with which Owner enters into a Construction Contract.
17. *Documents*—Data, reports, Drawings, Specifications, Record Drawings, building information models, civil integrated management models, and other deliverables, whether in printed or electronic format, provided or furnished in appropriate phases by Engineer to Owner pursuant to this Agreement.

18. *Drawings*—That part of the Construction Contract Documents that graphically shows the scope, extent, and character of the Work to be performed by Contractor.
19. *Effective Date*—The date indicated in this Agreement on which it becomes effective, but if no such date is indicated, the date on which this Agreement is signed and delivered by the last of the parties to sign and deliver.
20. *Engineer*—The individual or entity named as such in this Agreement.
21. *Field Order*—A written order issued by Engineer which requires minor changes in the Work but does not change the Construction Contract Price or the Construction Contract Times.
22. *Laws and Regulations; Laws or Regulations*—Any and all applicable laws, statutes, rules, regulations, ordinances, codes, and orders of any and all governmental bodies, agencies, authorities, and courts having jurisdiction.
23. *Owner*—The individual or entity named as such in this Agreement and for which Engineer's services are to be performed. Unless indicated otherwise, this is the same individual or entity that will enter into any Construction Contracts concerning the Project.
24. *Project*—The total undertaking to be accomplished for Owner by engineers, contractors, and others, including planning, study, design, construction, testing, commissioning, and start-up, and of which the services to be performed or furnished by Engineer under this Agreement are a part.
25. *Record Drawings*—Drawings depicting the completed Project, or a specific portion of the completed Project, prepared by Engineer as an Additional Service and based on Contractor's record copy of all Drawings, Specifications, Addenda, Change Orders, Work Change Directives, Field Orders, and written interpretations and clarifications, as delivered to Engineer and annotated by Contractor to show changes made during construction.
26. *Reimbursable Expenses*—The expenses incurred directly by Engineer in connection with the performing or furnishing of Basic Services and Additional Services for the Project.
27. *Resident Project Representative*—The authorized representative of Engineer assigned to assist Engineer at the Site during the Construction Phase. As used herein, the term Resident Project Representative or "RPR" includes any assistants or field staff of Resident Project Representative. The duties and responsibilities of the Resident Project Representative, if any, are as set forth in Exhibit D.
28. *Samples*—Physical examples of materials, equipment, or workmanship that are representative of some portion of the Work and that establish the standards by which such portion of the Work will be judged.
29. *Shop Drawings*—All drawings, diagrams, illustrations, schedules, and other data or information that are specifically prepared or assembled by or for Contractor and submitted by Contractor to illustrate some portion of the Work. Shop Drawings, whether approved or not, are not Drawings and are not Construction Contract Documents.
30. *Site*—Lands or areas to be indicated in the Construction Contract Documents as being furnished by Owner upon which the Work is to be performed, including rights-of-way and easements, and such other lands furnished by Owner which are designated for the use of

Contractor.

31. *Specifications*—The part of the Construction Contract Documents that consists of written requirements for materials, equipment, systems, standards, and workmanship as applied to the Work, and certain administrative requirements and procedural matters applicable to the Work.
32. *Subcontractor*—An individual or entity having a direct contract with Contractor or with any other Subcontractor for the performance of a part of the Work.
33. *Substantial Completion*—The time at which the Work (or a specified part thereof) has progressed to the point where, in the opinion of Engineer, the Work (or a specified part thereof) is sufficiently complete, in accordance with the Construction Contract Documents, so that the Work (or a specified part thereof) can be utilized for the purposes for which it is intended. The terms “substantially complete” and “substantially completed” as applied to all or part of the Work refer to Substantial Completion thereof.
34. *Supplier*—A manufacturer, fabricator, supplier, distributor, materialman, or vendor having a direct contract with Contractor or with any Subcontractor to furnish materials or equipment to be incorporated in the Work by Contractor or a Subcontractor.
35. *Total Project Costs*—The total cost of planning, studying, designing, constructing, testing, commissioning, and start-up of the Project, including Construction Cost and all other Project labor, services, materials, equipment, insurance, and bonding costs, allowances for contingencies, and the total costs of services of Engineer or other design professionals and consultants, together with such other Project-related costs that Owner furnishes for inclusion, including but not limited to cost of land, rights-of-way, compensation for damages to properties, Owner’s costs for legal, accounting, insurance counseling, and auditing services, interest and financing charges incurred in connection with the Project, and the cost of other services to be provided by others to Owner.
36. *Work*—The entire construction or the various separately identifiable parts thereof required to be provided under the Construction Contract Documents. Work includes and is the result of performing or providing all labor, services, and documentation necessary to produce such construction; furnishing, installing, and incorporating all materials and equipment into such construction; and may include related services such as testing, start- up, and commissioning, all as required by the Construction Contract Documents.
37. *Work Change Directive*—A written directive to Contractor issued on or after the effective date of the Construction Contract, signed by Owner and recommended by Engineer, ordering an addition, deletion, or revision in the Work.
38. *Day* - The word “day” means a calendar day of 24 hours measured from midnight to the next midnight.

ARTICLE 8 – EXHIBITS AND SPECIAL PROVISIONS

8.01 Exhibits Included:

- A. Exhibit A, Engineer’s Services.
- B. Exhibit B, Owner’s Responsibilities.
- C. Exhibit C, Payments to Engineer for Services and Reimbursable Expenses.
- D. Exhibit D, Duties, Responsibilities and Limitations of Authority of Resident Project Representative. – **Not Used**
- E. Exhibit E, Notice of Acceptability of Work. – **Not Used**
- F. Exhibit F, Construction Cost Limit. – **Not Used**
- G. Exhibit G, Insurance.
- H. Exhibit H, Dispute Resolution.
- I. Exhibit I, Limitations of Liability.
- J. Exhibit J, Special Provisions. – **Not Used**
- K. Exhibit K, Amendment to Owner-Engineer Agreement.

8.02 Total Agreement

- A. This Agreement, (together with the exhibits included above) constitutes the entire agreement between Owner and Engineer and supersedes all prior written or oral understandings. This Agreement may only be amended, supplemented, modified, or canceled by a written instrument duly executed by both parties. Amendments should be based whenever possible on the format of Exhibit K to this Agreement.

8.03 Designated Representatives

- A. With the execution of this Agreement, Engineer and Owner shall designate specific individuals to act as Engineer’s and Owner’s representatives with respect to the services to be performed or furnished by Engineer and responsibilities of Owner under this Agreement. Such an individual shall have authority to transmit instructions, receive information, and render decisions relative to this Agreement on behalf of the respective party whom the individual represents.

8.04 Engineer's Certifications

- A. Engineer certifies that it has not engaged in corrupt, fraudulent, or coercive practices in competing for or in executing the Agreement. For the purposes of this Paragraph 8.04:

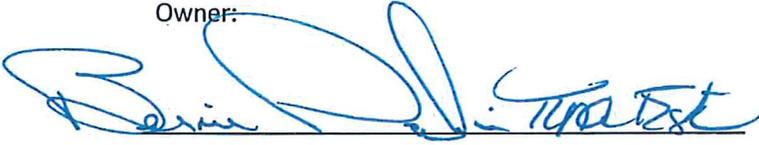
1. "corrupt practice" means the offering, giving, receiving, or soliciting of any thing of value likely to influence the action of a public official in the selection process or in the Agreement execution;
2. "fraudulent practice" means an intentional misrepresentation of facts made (a) to influence the selection process or the execution of the Agreement to the detriment of Owner, or (b) to deprive Owner of the benefits of free and open competition;
3. "coercive practice" means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the selection process or affect the execution of the Agreement.

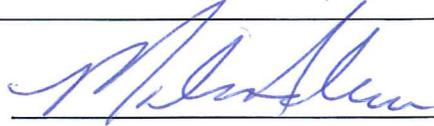
8.05 Affirmative Action: Owner and Engineer shall abide by the requirements of 41 CFR 60-1.4(a), 60-300.5(a) and 60-741.5(a). These regulations prohibit discrimination against qualified individuals based on their status as protected veterans or individuals with disabilities, and prohibit discrimination against all individuals based on their race, color, religion, sex, sexual orientation, gender identity or national origin. Moreover, these regulations require that covered prime contractors and subcontractors take affirmative action to employ and advance in employment individuals without regard to race, color, religion, sex, sexual orientation, gender identity, national origin, disability or veteran status.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement, the Effective Date of which is indicated on page 1.

Owner:

Engineer: Kadrmas, Lee & Jackson, Inc.,





By: Bernice Davis Tim Fisk
Print name:

By: _____
Print name: Mark Anderson

Title: President City Adm

Title: Vice President, EPW

Date Signed: 2-18-19 2-18-19

Date Signed: 2/20/2019

Engineer License or Firm's Certificate No. (if required):
061C
State of: North Dakota

Address for Owner's receipt of notices:
City of West Fargo Public Works
810 12th Avenue NW
West Fargo, ND 58078

Address for Engineer's receipt of notices:
Kadrmas, Lee & Jackson, Inc.
4585 Coleman Street
Bismarck, ND 58503

Designated Representative (Paragraph 8.03.A):
Chris Brungardt
Title: Director of Public Works
Phone Number: 701-433-5400
E-Mail Address: Chris.Brungardt@westfargond.gov

Designated Representative (Paragraph 8.03.A):
Scott Middaugh
Title: Project Manager
Phone Number: 701-271-4871
E-Mail Address: scott.middaugh@kljeng.com

This is **EXHIBIT A**, consisting of 1 page, referred to in and part of the **Agreement between Owner and Engineer for Professional Services** dated January 21, 2019.

Engineer's Services

Article 1 of the Agreement is supplemented to include the following agreement of the parties.

Engineer shall provide Basic and Additional Services as set forth below.

PART 1 – BASIC SERVICES

A1.01 Construction Engineering Services

A. Engineer shall:

- 1 **Project Initiation**
This task includes time for the construction staff to review plans, set up the record keeping system, create a work plan and review shop drawings.
- 2 **Pre-Construction Conference**
Prepare, conduct and complete minutes of the pre-construction conference.
- 3 **Utility Coordination Meeting**
KLJ will attend the Utility Coordination Meeting led by the Contractor.
- 4 **Project Management**
KLJ will manage the project and provide overall coordination of the work completed by the construction engineering team. The work shall consist of managing work assignments, internal team and safety meetings, client coordination, subconsultant coordination, plan and specification interpretation, administering requests for information from the Contractor and monitoring KLJ's project budget and schedule.
- 5 **Scope and Fee Development – Phase II**
The KLJ Team will prepare a proposed Scope of Services and Hours Summary for Phase II after review of the contractor's schedule. This phase will include construction engineering and inspection, construction survey, sampling and testing of materials, measuring and computing pay quantities, contract administration, plan revisions, shop drawing review, preparing and submitting final documentation and project closeout.
- 6 **Construction Staking (Initial)**
KLJ will begin initial construction staking activities including setting up survey files, establishing control points, slope staking, etc.

PART 2 – ADDITIONAL SERVICES

A2.01 *Additional Services Requiring Owner's Written Authorization*

- A. If authorized in writing by Owner, Engineer shall provide Additional Services as agreed to by both parties. These services are not included as part of Basic Services and will be paid for by Owner as indicated in Exhibit C.

This is **EXHIBIT B**, consisting of 3 pages, referred to in and part of the **Agreement between Owner and Engineer for Professional Services** dated January 21, 2019.

Owner's Responsibilities

Article 2 of the Agreement is supplemented to include the following agreement of the parties.

B2.01 In addition to other responsibilities of Owner as set forth in this Agreement, Owner shall at its expense:

- A. Provide Engineer with all criteria and full information as to Owner's requirements for the Project, including design objectives and constraints, space, capacity and performance requirements, flexibility, and expandability, and any budgetary limitations.
- B. Give instructions to Engineer regarding Owner's procurement of construction services (including instructions regarding advertisements for bids, instructions to bidders, and requests for proposals, as applicable), Owner's construction contract practices and requirements, insurance and bonding requirements, electronic transmittals during construction, and other information necessary for the finalization of Owner's bidding-related documents (or requests for proposals or other construction procurement documents), and Construction Contract Documents. Furnish copies (or give specific directions requesting Engineer to use copies already in Engineer's possession) of all design and construction standards, Owner's standard forms, general conditions (if other than EJCDC® C-700, Standard General Conditions of the Construction Contract, 2013 Edition), supplementary conditions, text, and related documents and content for Engineer to include in the draft bidding-related documents (or requests for proposals or other construction procurement documents), and draft Construction Contract Documents, when applicable. Owner shall have responsibility for the final content of (1) such bidding-related documents (or requests for proposals or other construction procurement documents), and (2) those portions of any Construction Contract other than the design (as set forth in the Drawings, Specifications, or otherwise), and other engineering or technical matters; and Owner shall seek the advice of Owner's legal counsel, risk managers, and insurance advisors with respect to the drafting and content of such documents.
- C. Furnish to Engineer any other available information pertinent to the Project including reports and data relative to previous designs, construction, or investigation at or adjacent to the Site.
- D. Following Engineer's assessment of initially-available Project information and data and upon Engineer's request, obtain, furnish, or otherwise make available (if necessary through title searches, or retention of specialists or consultants) such additional Project-related information and data as is reasonably required to enable Engineer to complete its Basic and Additional Services. Such additional information or data would generally include the following:
 - 1. Property descriptions.
 - 2. Zoning, deed, and other land use restrictions.
 - 3. Utility and topographic mapping and surveys.

4. Property, boundary, easement, right-of-way, and other special surveys or data, including establishing relevant reference points.
 5. Explorations and tests of subsurface conditions at or adjacent to the Site; geotechnical reports and investigations; drawings of physical conditions relating to existing surface or subsurface structures at the Site; hydrographic surveys, laboratory tests and inspections of samples, materials, and equipment; with appropriate professional interpretation of such information or data.
 6. Environmental assessments, audits, investigations, and impact statements, and other relevant environmental, historical, or cultural studies relevant to the Project, the Site, and adjacent areas.
 7. Data or consultations as required for the Project but not otherwise identified in this Agreement.
- E. Arrange for safe access to and make all provisions for Engineer to enter upon public and private property as required for Engineer to perform services under the Agreement.
- F. Recognizing and acknowledging that Engineer's services and expertise do not include the following services, provide, as required for the Project:
1. Accounting, bond and financial advisory (including, if applicable, "municipal advisor" services as described in Section 975 of the Dodd-Frank Wall Street Reform and Consumer Protection Act (2010) and the municipal advisor registration rules issued by the Securities and Exchange Commission), independent cost estimating, and insurance counseling services.
 2. Legal services with regard to issues pertaining to the Project as Owner requires, Contractor raises, or Engineer reasonably requests.
 3. Such auditing services as Owner requires to ascertain how or for what purpose Contractor has used the money paid.
- G. Provide the services of an independent testing laboratory to perform all inspections, tests, and approvals of samples, materials, and equipment required by the Construction Contract Documents (other than those required to be furnished or arranged by Contractor), or to evaluate the performance of materials, equipment, and facilities of Owner, prior to their incorporation into the Work with appropriate professional interpretation thereof. Provide Engineer with the findings and reports generated by testing laboratories, including findings and reports obtained from or through Contractor.
- H. Provide reviews, approvals, and permits from all governmental authorities having jurisdiction to approve all phases of the Project designed or specified by Engineer and such reviews, approvals, and consents from others as may be necessary for completion of each phase of the Project.

- I. Advise Engineer of the identity and scope of services of any independent consultants employed by Owner to perform or furnish services in regard to the Project, including, but not limited to, costestimating, project peer review, value engineering, and constructability review.
- J. If Owner designates a construction manager or an individual or entity other than, or in addition to, Engineer to represent Owner at the Site, define and set forth as an attachment to this Exhibit B the duties, responsibilities, and limitations of authority of such other party and the relation thereof to the duties, responsibilities, and authority of Engineer.
- K. If more than one prime contract is to be awarded for the Work designed or specified by Engineer, then designate a person or entity to have authority and responsibility for coordinating the activities among the various prime Contractors, and define and set forth the duties, responsibilities, and limitations of authority of such individual or entity and the relation thereof to the duties, responsibilities, and authority of Engineer as an attachment to this Exhibit B that is to be mutually agreed upon and made a part of this Agreement before such services begin.
- L. Inform Engineer in writing of any specific requirements of safety or security programs that are applicable to Engineer, as a visitor to the Site.
- M. Examine all alternative solutions, studies, reports, sketches, Drawings, Specifications, proposals, and other documents presented by Engineer (including obtaining advice of an attorney, risk manager, insurance counselor, financial/municipal advisor, and other advisors or consultants as Owner deems appropriate with respect to such examination) and render in writing timely decisions pertaining thereto.
- N. Inform Engineer regarding any need for assistance in evaluating the possible use of Project Strategies, Technologies, and Techniques, as defined in Exhibit A.
- O. Advise Engineer as to whether Engineer's assistance is requested in identifying opportunities for enhancing the sustainability of the Project.
- P. Place and pay for advertisement for Bids in appropriate publications.
- Q. Furnish to Engineer data as to Owner's anticipated costs for services to be provided by others (including, but not limited to, accounting, bond and financial, independent cost estimating, insurance counseling, and legal advice) for Owner so that Engineer may assist Owner in collating the various cost categories which comprise Total Project Costs.
- R. Attend and participate in the pre-bid conference, bid opening, pre-construction conferences, construction progress and other job related meetings, and Site visits to determine Substantial Completion and readiness of the completed Work for final payment.
- S. Authorize Engineer to provide Additional Services as set forth in Part 2 of Exhibit A of the Agreement, as required.
- T. Perform or provide the following: Hire materials testing contractor.

This is **EXHIBIT C**, consisting of 3 pages, referred to in and part of the Agreement between Owner and Engineer for Professional Services dated January 21, 2019.

Payments to Engineer for Services and Reimbursable Expenses
COMPENSATION PACKET BC-2: Basic Services – Standard Hourly Rates

Article 2 of the Agreement is supplemented to include the following agreement of the parties:

ARTICLE 2 – OWNER’S RESPONSIBILITIES

C2.01 Compensation For Basic Services (other than Resident Project Representative) – Standard Hourly Rates Method of Payment

- U. Owner shall pay Engineer for Basic Services set forth in Exhibit A, except for services of Engineer’s Resident Project Representative, if any, as follows:
1. An amount equal to the cumulative hours charged to the Project by each class of Engineer’s personnel times Standard Hourly Rates for each applicable billing class for all services performed on the Project, plus Reimbursable Expenses and Engineer’s Consultants' charges, if any.
 2. The Standard Hourly Rates charged by Engineer constitute full and complete compensation for Engineer’s services, including labor costs, overhead, and profit; the Standard Hourly Rates do not include Reimbursable Expenses or Engineer’s Consultants’ charges.
 3. Engineer’s Reimbursable Expenses Schedule and Standard Hourly Rates are attached to this Exhibit C as Appendices 1 and 2.
 4. The total compensation for services under Paragraph C2.01 is estimated to be \$1,500,000.00 based on the following estimated distribution of compensation:

a. Project Start up and Scoping Phase	\$150,000.00
b. Construction Administration, Survey, and project close out	\$1,350,000.00
 5. Engineer may alter the distribution of compensation between individual phases of the work noted herein to be consistent with services actually rendered, but shall not exceed the total estimated compensation amount unless approved in writing by Owner. See also C2.03.C.2 below.
 6. The total estimated compensation for Engineer’s services included in the breakdown by phases as noted in Paragraph C2.01.A.3 incorporates all labor, overhead, profit, Reimbursable Expenses, and Engineer’s Consultants' charges.

7. The amounts billed for Engineer's services under Paragraph C2.01 will be based on the cumulative hours charged to the Project during the billing period by each class of Engineer's employees times Standard Hourly Rates for each applicable billing class, plus Reimbursable Expenses and Engineer's Consultants' charges.
8. ~~The Standard Hourly Rates and Reimbursable Expenses Schedule will be adjusted annually (as of [] to reflect equitable changes in the compensation payable to Engineer.~~

C2.02 *Compensation For Reimbursable Expenses*

- V. Owner shall pay Engineer for all Reimbursable Expenses at the rates set forth in Appendix 1 to this Exhibit C.
- W. Reimbursable Expenses include the expenses identified in Appendix 1 and the following: transportation (including mileage), lodging, and subsistence incidental thereto; providing and maintaining field office facilities including furnishings and utilities; toll telephone calls, mobile phone charges, and courier charges; reproduction of reports, Drawings, Specifications, bidding-related or other procurement documents, Construction Contract Documents, and similar Project-related items; and Consultants' charges. In addition, if authorized in advance by Owner, Reimbursable Expenses will also include expenses incurred for the use of highly specialized equipment.
- X. The amounts payable to Engineer for Reimbursable Expenses will be the Project-related internal expenses actually incurred or allocated by Engineer, plus all invoiced external Reimbursable Expenses allocable to the Project, the latter multiplied by a factor of 1.00.

C2.03 *Other Provisions Concerning Payment*

- Y. Whenever Engineer is entitled to compensation for the charges of Engineer's Consultants, those charges shall be the amounts billed by Engineer's Consultants to Engineer times a factor of 1.00.
- Z. *Factors:* The external Reimbursable Expenses and Engineer's Consultants' factors include Engineer's overhead and profit associated with Engineer's responsibility for the administration of such services and costs.

AA. *Estimated Compensation Amounts:*

1. Engineer's estimate of the amounts that will become payable for specified services are only estimates for planning purposes, are not binding on the parties, and are not the minimum or maximum amounts payable to Engineer under the Agreement.
2. When estimated compensation amounts have been stated herein and it subsequently becomes apparent to Engineer that the total compensation amount thus estimated will be exceeded, Engineer shall give Owner written notice thereof, allowing Owner to consider its options, including suspension or termination of Engineer's services for Owner's convenience. Upon notice, Owner and Engineer promptly shall review the matter of services remaining to be performed and compensation for such services. Owner shall either exercise its right to suspend or terminate Engineer's services for Owner's

convenience, agree to such compensation exceeding said estimated amount, or agree to a reduction in the remaining services to be rendered by Engineer, so that total compensation for such services will not exceed said estimated amount when such services are completed. If Owner decides not to suspend the Engineer's services during the negotiations and Engineer exceeds the estimated amount before Owner and Engineer have agreed to an increase in the compensation due Engineer or a reduction in the remaining services, then Engineer shall be paid for all services rendered hereunder.

BB. To the extent necessary to verify Engineer's charges and upon Owner's timely request, Engineer shall make copies of such records available to Owner at cost.

**COMPENSATION PACKET AS-1:
Additional Services – Standard Hourly Rates**

Article 2 of the Agreement is supplemented to include the following agreement of the parties:

C2.05 Compensation for Additional Services – Standard Hourly Rates Method of Payment

- A. Owner shall pay Engineer for Additional Services, if any, as follows:
1. *General:* For services of Engineer's personnel engaged directly on the Project pursuant to Paragraph A2.01 of Exhibit A, except for services as a consultant, (which if needed shall be separately negotiated based on the nature of the required consultation or testimony) an amount equal to the cumulative hours charged to the Project by each class of Engineer's personnel times Standard Hourly Rates for each applicable billing class for all Additional Services performed on the Project, plus related Reimbursable Expenses and Engineer's Consultant's charges, if any.
- B. *Compensation For Reimbursable Expenses:*
1. For those Reimbursable Expenses that are not accounted for in the compensation for Basic Services under Paragraph C2.01 and are directly related to the provision of Additional Services, Owner shall pay Engineer at the rates set forth in Appendix 1 to this Exhibit C.
 2. Reimbursable Expenses include the expenses identified in Appendix 1 and the following categories: transportation (including mileage), lodging, and subsistence incidental thereto; providing and maintaining field office facilities including furnishings and utilities; toll telephone calls, mobile phone charges, and courier charges; reproduction of reports, Drawings, Specifications, bidding-related or other procurement documents, Construction Contract Documents, and similar Project-related items; and Consultants' charges. In addition, if authorized in advance by Owner, Reimbursable Expenses will also include expenses incurred for the use of highly specialized equipment.
 3. The amounts payable to Engineer for Reimbursable Expenses, if any, will be the Additional Services-related internal expenses actually incurred or allocated by Engineer, plus all invoiced external Reimbursable Expenses allocable to such Additional Services, the latter multiplied by a factor of one.
 4. The Reimbursable Expenses Schedule will be adjusted annually (as of January 1) to reflect equitable changes in the compensation payable to Engineer.
- C. *Other Provisions Concerning Payment for Additional Services:*
1. Whenever Engineer is entitled to compensation for the charges of Engineer's Consultants, those charges shall be the amounts billed by Engineer's Consultants to Engineer times a factor of one.

2. *Factors:* The external Reimbursable Expenses and Engineer's Consultant's Factors include Engineer's overhead and profit associated with Engineer's responsibility for the administration of such services and costs.
3. To the extent necessary to verify Engineer's charges and upon Owner's timely request, Engineer shall make copies of such records available to Owner at cost.

This is **EXHIBIT G**, consisting of 2 pages, referred to in and part of the **Agreement between Owner and Engineer for Professional Services** dated January 21, 2019.

Insurance

Paragraph 6.05 of the Agreement is supplemented to include the following agreement of the parties:

G6.05 *Insurance*

A. The limits of liability for the insurance required by Paragraph 6.05.A and 6.05.B of the Agreement are as follows:

1. By Engineer:

- a. Workers' Compensation: Statutory
- b. Employer's Liability --
 - 1) Bodily injury, each accident: \$1,000,000
 - 2) Bodily injury by disease, each employee: \$1,000,000
 - 3) Bodily injury/disease, aggregate: \$1,000,000
- c. General Liability --
 - 1) Each Occurrence (Bodily Injury and Property Damage): \$1,000,000
 - 2) General Aggregate: \$2,000,000
- a. Excess or Umbrella Liability --
 - 1) Per Occurrence: \$5,000,000
 - 2) General Aggregate: \$5,000,000
- b. Automobile Liability --Combined Single Limit (Bodily Injury and Property Damage):
\$1,000,000
- c. Professional Liability --
 - 1) Each Claim Made: \$5,000,000
 - 2) Annual Aggregate: \$5,000,000

B. *Additional Insureds:*

- 1. The Owner shall be listed on Engineer's general liability policy as provided in Paragraph 6.05.A.

Exhibit G – Insurance.

EJCDC® E-500, Agreement Between Owner and Engineer for Professional Services.

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This is **EXHIBIT H**, consisting of 1 pages, referred to in and part of the **Agreement between Owner and Engineer for Professional Services** dated January 21, 2019.

Dispute Resolution

Paragraph 6.09 of the Agreement is supplemented to include the following agreement of the parties:

H6.08 *Dispute Resolution*

- A. *Mediation*: Owner and Engineer agree that they shall first submit any and all unsettled claims, counterclaims, disputes, and other matters in question between them arising out of or relating to this Agreement or the breach thereof (“Disputes”) to mediation by **a mutually agreed upon mediator**. Owner and Engineer agree to participate in the mediation process in good faith. The process shall be conducted on a confidential basis, and shall be completed within 120 days. If such mediation is unsuccessful in resolving a Dispute, then (1) the parties may mutually agree to a dispute resolution of their choice, or (2) either party may seek to have the Dispute resolved by a court of competent jurisdiction.

This is **EXHIBIT I**, consisting of 2 pages, referred to in and part of the **Agreement between Owner and Engineer for Professional Services** dated January 21, 2019.

Limitations of Liability

Paragraph 6.11 of the Agreement is supplemented to include the following agreement of the parties:

A. *Limitation of Engineer's Liability*

1. *Engineer's Liability Limited to Amount of Insurance Proceeds:* Engineer shall procure and maintain insurance as required by and set forth in Exhibit G to this Agreement. Notwithstanding any other provision of this Agreement, and to the fullest extent permitted bylaws and Regulations, the total liability, in the aggregate, of Engineer and Engineer's officers, directors, members, partners, agents, employees, and Consultants to Owner and anyone claiming by, through, or under Owner for any and all claims, losses, costs, or damages whatsoever arising out of, resulting from, or in any way related to the Project or the Agreement from any cause or causes, including but not limited to the negligence, professional errors or omissions, strict liability, breach of contract, indemnity obligations, or warranty express or implied, of Engineer or Engineer's officers, directors, members, partners, agents, employees, or Consultants (hereafter "Owner's Claims"), shall not exceed the total insurance proceeds paid on behalf of or to Engineer by Engineer's insurers in settlement or satisfaction of Owner's Claims under the terms and conditions of Engineer's insurance policies applicable thereto (excluding fees, costs and expenses of investigation, claims adjustment, defense, and appeal), up to the amount of insurance required under this Agreement.
2. *Exclusion of Special, Incidental, Indirect, and Consequential Damages:* To the fullest extent permitted by Laws and Regulations, and notwithstanding any other provision in the Agreement, consistent with the terms of Paragraph 6.11, the Engineer and Engineer's officers, directors, members, partners, agents, Consultants, and employees shall not be liable to Owner or anyone claiming by, through, or under Owner for any and all claims for or entitlement to special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to this Agreement or the Project, from any cause or causes.

B. Nothing herein shall be deemed a waiver by Owner of the limitations on liability set forth in N.D.C.C. § 32-12.1-03, as amended from time to time, and the Owner's obligation to indemnify, hold harmless and defend Engineer shall be limited by the limitations on liability set forth in N.D.C.C. § 32-12.1-03.

C. *Indemnification by Owner:* To the fullest extent permitted by Laws and Regulations, Owner shall indemnify and hold harmless Engineer and its officers, directors, members, partners, agents, employees, and Consultants from and against any and all claims, costs, losses, and damages (including but not limited to all fees and charges of engineers, architects, attorneys, and other professionals, and all court, arbitration, or other dispute resolution costs) arising out of or relating to the Project, provided that any such claim, cost, loss, or damage is

attributable to bodily injury, sickness, disease, or death or to injury to or destruction of tangible property (other than the Work itself), including the loss of use resulting therefrom, but only to the extent caused by any negligent act or omission of Owner or Owner's officers, directors, members, partners, agents, employees, consultants, or others retained by or under contract to the Owner with respect to this Agreement or to the Project.

This is **EXHIBIT K**, consisting of [] pages, referred to in and part of the **Agreement between Owner and Engineer for Professional Services** dated January 21, 2019.

AMENDMENT TO OWNER-ENGINEER AGREEMENT
Amendment No. _____

The Effective Date of this Amendment is: _____.

Background Data

Effective Date of Owner-Engineer Agreement:

Owner:

Engineer:

Project:

Nature of Amendment: [Check those that are applicable and delete those that are inapplicable.]

- ___ Additional Services to be performed by Engineer
- ___ Modifications to services of Engineer
- ___ Modifications to responsibilities of Owner
- ___ Modifications of payment to Engineer
- ___ Modifications to time(s) for rendering services
- ___ Modifications to other terms and conditions of the Agreement

Description of Modifications:

Here describe the modifications, in as much specificity and detail as needed. Use an attachment if necessary.

Agreement Summary:

Original agreement amount:	\$ _____
Net change for prior amendments:	\$ _____
This amendment amount:	\$ _____
Adjusted Agreement amount:	\$ _____

Change in time for services (days or date, as applicable): _____

The foregoing Agreement Summary is for reference only and does not alter the terms of the Agreement, including those set forth in Exhibit C.

Owner and Engineer hereby agree to modify the above-referenced Agreement as set forth in this Amendment. All provisions of the Agreement not modified by this or previous Amendments remain in effect.

OWNER:

ENGINEER:

By: _____

By: _____

Print _____

Print _____

name: _____

name: _____

Title: _____

Title: _____

Date Signed: _____

Date Signed: _____

Appendix 1 - Standard Hourly Rates

KLJ Staff Type	Rate
CADD Technician I	\$ 82.00
CADD Technician II	\$ 88.00
CADD Technician III	\$ 100.00
Engineer I	\$ 94.00
Engineer II	\$ 104.00
Engineer III	\$ 136.00
Engineer IV	\$ 190.00
Principal Engineer	\$ 250.00
Engineering Technician I	\$ 84.00
Engineering Technician II	\$ 96.00
Engineering Technician III	\$ 106.00
Environmental Planner I	\$ 78.00
Environmental Planner II	\$ 85.00
Environmental Planner III	\$ 102.00
Environmental Planner IV	\$ 142.00
Environmental Technician	\$ 65.00
Project Assistant I	\$ 62.00
Project Assistant II	\$ 78.00
Project Assistant III	\$ 88.00
Structural Engineer I	\$ 85.00
Structural Engineer II	\$ 96.00
Structural Engineer III	\$ 136.00
Structural Engineer IV	\$ 153.00
Survey Technician	\$ 68.00
Surveyor I	\$ 78.00
Surveyor II	\$ 102.00
Surveyor III	\$ 112.00
Surveyor IV	\$ 170.00